



# Office of General Services

DESIGN & CONSTRUCTION GROUP  
THE GOVERNOR NELSON A. ROCKEFELLER  
EMPIRE STATE PLAZA  
ALBANY, NY 12242

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## ADDENDUM NO. 1 TO PROJECT NO. 47640

CONSTRUCTION WORK  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON ST  
ELMIRA, NY

August 21, 2026

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| <p><b>NOTE:</b> This Addendum forms a part of the Contract Documents. Insert it in the Project Manual. Acknowledge receipt of this Addendum in the space provided on the Bid Form.</p> |
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### SPECIFICATIONS

1. SECTION 013113 PROJECT PLANNING AND SCHEDULING: Discard the Section bound in the Project Manual and substitute the accompanying Section (pages 013113 – 1 thru 013113 – 8) noted “Revised 8/19/2026 – Addendum 1”.
2. SECTION 033000 CAST-IN-PLACE CONCRETE: Discard the Section bound in the Project Manual and substitute the accompanying Section (pages 033000 – 1 thru 033000 – 17) noted “Revised 8/19/2026 – Addendum 1”.
3. SECTION 321313 CONCRETE PAVING: Discard the Section bound in the Project Manual and substitute the accompanying Section (pages 321313 – 1 thru 321313 – 14) noted “Revised 8/19/2026 – Addendum 1”.

### DRAWINGS

4. Revised Drawings:
  - a. Drawing Nos. C-000, C-001, C-100, C-101, C-200, C-201, C-202, C-203, C-300, C-301, C-400, C-401, C-500, C-501, C-600, C-601, C-700, C-701, C-800, C-801, C-802, C-803, C-804, C-805, L-200, L-201, L-202, L-203, L-204, L-500, E-001, E-100, E-101, E-200 noted ADDENDUM #1, dated 8/21/2026, accompanies this Addendum and supersedes the same numbered previously issued drawings.

### END OF ADDENDUM

Brady M. Sherlock, P.E.  
Director, Division of Design  
Design & Construction

SECTION 013113 - PROJECT PLANNING AND SCHEDULING  
Revised 8/19/2026 – Addendum 1

PART 1 - GENERAL

1.1 RELATED REQUIREMENTS AND INFORMATION SPECIFIED ELSEWHERE

- A. Summary of the Work: Section 011000.
- B. Administrative Requirements: Section 013000.
- C. Project Meetings: Section 013119.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements to plan, schedule, and document the progress of the Project, work in place, and predict and prevent delays to established activities and milestones during performance of the Work.

1.3 DEFINITIONS

- A. Activity: A task or grouping of tasks containing an anticipated start-date and corresponding duration in work days, anticipated labor resources, person responsible for the work, restricted work period, contract reference document, sequence of work, and budgeted cost (if required) comprising a generalized portion of the Work, that can be identified and measured for planning, coordinating, monitoring, and controlling the project.
- B. Activity Duration: Time needed for the represented work in work days. No duration in any baseline or recovery schedule shall be longer than one (1) reporting period as defined in Section 013119, except for submittal items. All procurement and work activities must be provided in sufficient detail to meet this duration requirement.
- C. Baseline Agreement: The agreement document for Section 013113 which will contain the baseline schedule report.
- D. Baseline Project Schedule: The schedule derived from the Contractors' Project Work Plan activities and their prescribed durations, predecessor activities, etc., recognizing the completion of the Work of the Project Work Plan in accordance with the Contract duration. The Baseline Project Schedule will remain unaltered as a tool to measure progress outlined and anticipated during the Initial Schedule Meetings and from the agreed-upon Baseline Project Schedule. The Project Team will agree to the resulting schedule by completing the Baseline Agreement within the Project Work Plan software. OGS Scheduling will maintain the agreed-upon Baseline Project Schedule as the assigned project baseline schedule.
- E. Calendar: The calendar utilized for each activity, set according to the direction of OGS Scheduling to accurately reflect anticipated State and Federal holidays. Calendars reflecting

additional shifts or non-traditional work hours must be reviewed with the Director's Representative and approved by OGS Scheduling and prior to use in the schedule.

- F. Constraints: Constraints are a function which can manipulate or hold specific dates. Constraints are used by OGS Scheduling in specific instances during the baseline process to hold dates dictated by the terms of the Contract or assigned to submittal & procurement items in the Project Work Plan. Constraints are not allowed to be used/entered by Contractors on any activities except for mobilization items.
- G. Data Date: The progress point or "status date" for activities/tasks in the project. Project status is up-to-date as of the Data Date. OGS Scheduling will specify the Data Date for each Project Update Reporting Period.
- H. Float: The measure of latitude in starting and/or completing an activity without impeding the successful realization of Project Milestones. It is an expiring Project resource that is jointly owned, not for the exclusive use or benefit of either the State or the Contractors. Float is available as needed to meet scheduled milestones and Project completion. Recognizing float within an activity, or chain of activities, does not permit the Contractors to disrupt progress or to delay completion of an activity.
- I. Milestone Activity: A significant start or finish to Work on a given set of activities on the Project, defined by both the Director's Representative and the Contractors. The Project Team will identify milestones, activities, or summary activities for incorporation into the Baseline or Project Schedule to assist in planning, scheduling, and coordinating the Project. This may include major milestones or phases required by the Contract Documents to be utilized by the Contractors and Project Team in developing the Baseline Project Schedule.
- J. OGS Project Work Plan System (OGS PWPS): The collaborative online system provided by OGS for Contractors to establish their Project Work Plan activities, duration, prerequisites, resources and budgeted cost (if required) for Work of the Project. All work is entered into the OGS PWPS by the Contractor(s).
  - 1. Importing of any information is not allowed.
  - 2. Time lags are not allowed to be scheduled between activities.
- K. OGS Scheduling: The department responsible for assisting and training the Project Team, reviewing, reporting, and interpreting the Contractor Project Work Plan and related information.
- L. Preliminary Project Schedule: This schedule is a summary outline of the Contractor's anticipated Project Work Plan for the sequence of work of this Contract through Substantial Completion as noted in the Summary of Work (Section 011000). The activities are developed using anticipated dates and are coordinated among the Contractor(s). The resulting Schedule outlines and aligns the sequence of work for the individual Contract and coordinates the Contracts that are part of a multiple trade Project. The Project Work Plan needs to address sequencing of the work, long lead items, and impact of weather and restricted work periods as noted in Section 002219. The Project Team will agree to the resulting schedule by completing the Baseline Agreement within the Project Work Plan software.
- M. Project: Work to be performed as part of one or more Contracts.

- N. Project Team: The Designated Representatives acting on behalf of the State and/or Contractors to successfully plan, schedule, and coordinate the Work of the Project.
- O. Project Update Reporting Period (Project Schedule Updates): A regular reporting period as stipulated for this Project in Section 013119, that is concluded by a Project Update Meeting for review, evaluation, and adjustments to the Project Work Plan and Activity progress.
- P. Project Work Plan: A comprehensive list of Contractor tasks, including prerequisite activities, durations, labor resources, budgeted costs (if required), etc. used to develop the Project Schedule as entered by the Contractor's Supervision staff in the OGS PWPS.
- Q. Recovery Project Schedule: Revised Project Work Plan developed from recovery options presented by the Contractor to the Director's Representative when Project Update Reporting indicates the Work is 15 or more work days behind the current Substantial Completion dates of the agreed-to Baseline Project Schedule. The Contractor will update their Project Work Plan accordingly for the revision. The Project Team will agree to the resulting recovery project schedule by completing the Baseline Agreement within the Project Work Plan software. OGS Scheduling will maintain the Baseline Agreement Recovery Project Schedule as the assigned Baseline Project Schedule.
  - 1. The Recovery Project Schedule will only be reviewed by OGS when it is entered in the OGS PWPS
- R. Resource: Any labor (workers), material, or equipment, shared or exclusive, required for the completion of the Work or an Activity, for which an associated cost is recognized.
- S. Schedule: A comprehensive plan of necessary procedural tasks, including task sequencing, projected start and finish dates, and resource allocation required to successfully complete the Work by the Project completion date. The dates in the Schedule are the result of the sequence, duration, and requirements from the Project Work Plan.

## PART 2 - PRODUCTS

### 2.1 SCHEDULE SOFTWARE

- A. The Project Work Plan software (Oracle Primavera) is provided by OGS through the OGS PWPS for use on this OGS contract only.
- B. Contractors are required to have Internet access to utilize the OGS PWPS for all parts of this section.
- C. Meetings will be held in accordance with Section 013119 and will be conducted via WebEx™ or an equivalent online method provided by OGS.
- D. OGS will provide training for access and use of the OGS PWPS. Additional support is available by OGS Scheduling as requested.

## PART 3 - EXECUTION

### 3.1 PROJECT AWARD

- A. OGS Scheduling will establish one account for each Contractor.
- B. The Initial Schedule and Training Meeting is coordinated by the Director's Representative and Project Team. Prior to the meeting all Contractor accounts need to be set up by OGS Scheduling.

### 3.2 INITIAL SCHEDULE MEETING – (PERIOD DEFINED BY SECTION 013119)

- A. The meeting is mandatory for the members of the Project Team and will be conducted by OGS Scheduling for the purpose of defining the intent of the specification and reporting structure of the Project. The mutual agreements reached at this and subsequent meetings form the basis for the Baseline and other Project Schedule(s), and will be used for coordinating, scheduling, and monitoring the Work of all related contracts.
- B. This meeting also includes training for the Project Team using the OGS PWPS. Each session will be one hour (total of two hours) via WebEx™ or an equivalent online method provided by OGS.
  - 1. SESSION 1 - Preliminary Project Schedule & Initial Training
  - 2. SESSION 2 - Baseline Project Schedule Training

### 3.3 PRELIMINARY PROJECT SCHEDULE – (PERIOD DEFINED BY SECTION 011000, if specified)

- A. In the OGS PWPS, the Contractor will develop their Project Work Plan activities and provide information relating to activity naming, anticipated work dates, resources, and budgeted cost (if required) on the OGS PWPS. The Project Team will establish a focused work breakdown structure (WBS). The activities are developed using anticipated dates and are coordinated among the Contractor(s).
- B. Activities are to be appropriately placed within the OGS PWPS. Activity durations are only limited by the requirements of coordinating the work of the Preliminary Project Schedule by the Project Team. For the purposes of coordinating this schedule, relationships (predecessors and successors) are not required between the activities.
- C. The Preliminary Project Schedule must be agreed to by the Project Team. Each Contractor and the Director's Representative shall agree to it by completing the Baseline Agreement within the Project Work Plan Software (sample agreement included at the end of Section 013113) .

### 3.4 BASELINE PROJECT SCHEDULE – (45 DAYS AFTER AWARD)

- A. The Contractor(s) shall develop and enter their Project Work Plan activities which adequately represent their scope of Work of the Contract and the required coordination efforts for the Project. This includes, but is not limited to, sequence requirements, identification of logical connections to other work critical to Substantial Completion, accounting for critical submittals or submissions,

the fabrication and delivery of long-lead materials, products, specialized equipment or services, and the recognition of critical testing, inspection, or commissioning durations for coordination and tracking.

- B. Each activity will identify the Contractor's anticipated duration for the activity defined in workdays, resources, and budgeted cost (if required) of the activity. The Contractor is responsible to provide the mandatory requirements outlined by OGS and the online OGS PWPS layout within the project structure provided by OGS. Revisions to the project structure must be agreed upon by the Project Team.
- C. Activity durations cannot exceed the time frame in work days of the Project Reporting Period as defined in Section 013119.
- D. The Contractors will identify each activity with a unique Activity Name that clearly communicates the scope of the work item to the rest of the Project Team. No Activity Name or Activity ID will be altered without approval of the Director's Representative and OGS Scheduling after the Baseline Project Schedule has been agreed to by the Director's Representative.
- E. The Baseline Project Schedule must be agreed to by the Project Team. Each Contractor and the Director's Representative shall agree to it by completing the Baseline Agreement within the Project Work Plan software (sample agreement included at the end of Section 013113).

### 3.5 PROJECT SCHEDULE UPDATES (PERIOD DEFINED BY SECTION 013119)

- A. Project Schedule meetings will be led by the Director's Representative and held to review Contractor updates to the actual starts, actual finishes, and remaining duration of in-progress activities, and consider logic changes, predecessor alterations, duration amendments, time impact events, and scope changes, for the purpose of determining the status of construction progress for the updated Project Schedule. At each meeting the Project Team will:
  - 1. Agree to the completed Activity dates.
  - 2. Coordinate and agree to the next 6-week Project Work Plan.
  - 3. Evaluate and acknowledge any impact to the Contractor's ability to execute the Project Schedule according to the Baseline Project Schedule.
- B. During the progress of Work on the Project, the Contractors are required to document actual start, actual finish, and remaining duration on a daily basis. Information will be posted by the Contractor to the OGS PWPS as defined during the Initial Schedule Meeting.
- C. Contractors are required to update the status of all their activities two (2) days prior to the Project Schedule Meeting. The Contractors will notify the Director's Representative and OGS Scheduling when their update information for all activities is complete.
  - 1. Any variation of 5 days (+/-) in the start or finish date for each activity must be explained and posted to each activity.
  - 2. All necessary initiated documents such as Request for Information (RFI), Information Bulletins (IB), Field Orders (FO), Change Orders (CO), and Notice of Claim (NOC) must be incorporated by the Contractor into the Contractor's Work Plan.

3. Any Contractor failing to progress their Work as outlined in the updated Project Work Plan will be informed of their deficiencies and, if required, be requested to provide a recovery option.
- D. Performing Work out of sequence with the Project Schedule is not permitted unless written approval is obtained from the Director's Representative prior to commencement.

### 3.6 RECOVERY PROJECT SCHEDULE

- A. When the Project Schedule completion date is projected to be greater than the agreed-to Baseline Project Schedule's Substantial Completion date by 15 or more work days, the Contractor(s) will revise the existing Project Work Plan as necessary towards meeting the specified completion date within 10 calendar days after the Project Schedule update meeting.
- B. Contractor recovery options may include, but are not limited to, allocating additional resources to reduce activity duration or modify activity sequencing.
- C. Alterations to the Project Work Plan activities for a Recovery Work Plan will require the approval of the Contractor(s) and the Director's Representative. Agreed-to alterations to the Project Work Plan activities for a Recovery Work Plan will constitute the updated Project Schedule.
- D. The updated Project Schedule must be agreed to by the Project Team. Each Contractor and the Director's Representative shall agree to it by completing the Baseline Agreement within the Project Work Plan Software (sample agreement included at the end of Section 013113).
- E. The previous Baseline Project Schedule will be retained. The new agreed-upon Baseline Project Schedule will be used to measure progress moving forward.

### 3.7 SCHEDULE CLOSEOUT (AS-BUILT SCHEDULE)

- A. A schedule meeting must occur to update the project schedule with the actual progress dates and to confirm that all activities are complete for Substantial Completion.
- B. The Director's Representative will determine if any of the original Substantial Completion activities need to be tracked for Physical Completion in the project schedule.

### 3.8 TIME IMPACT AND TIME IMPACT ANALYSIS (TIA)

- A. The Contractor(s) will represent the impact relative to the assigned Baseline Project Schedule in the OGS PWPS. The Contractor will incorporate the impact of any change in their Work Plan per the current OGS PWPS requirements for impacts. The requirements include but are not limited to:
  1. A day-for-day tracking of the impact to illustrate the sequence of the impact from the initiating event.
  2. All information required to create an Activity and the associated codes for the impact in the OGS PWPS as defined previously.

3. Modification of existing activities so that the name of each associated task enhances the reader's understanding of the impact. Modification of the associated (TIA) codes for the change in the OGS PWPS.
  4. For the addition of any new activities, an explanation of how the modified scope impacts the agreed-to Baseline Project Schedule.
- B. Contractors and the Project Team will use the most current Project Work Plan update to prepare the Time Impact representation.
  - C. If Project Work Plans have not been updated in accordance with this specification, an update by the Contractor must be generated which includes an accurate realization of the Work performed and progressed up to the Time Impact event. Failure to maintain Project Work Plan updates in accordance with this or related specifications will not absolve the Contractors of the responsibility to identify Time Impact as defined by, but not limited to, Specification Section 013113 or the General Conditions.
  - D. OGS Scheduling will assist the Contractor with this process as requested.
  - E. A Request for Time Extension will require Time Impact recognition within the OGS PWPS and Schedule.
  - F. Time Impact events will be reviewed for accuracy and are to be updated in accordance with relevant new information regarding time for resolution and impact to the remaining work on the Project.
  - G. All impacts (sequence, duration, and scope) must be agreed to by the Project Team.

### 3.9 SUBSTANTIAL COMPLETION DATE CHANGES

- A. If the Substantial Completion date of the project is modified by an Order on Contract in accordance with the General Conditions, the Project Team will agree to a new Baseline Project Schedule within 10 calendar days after the approval of the Order on Contract.
  1. The previous Baseline Project Schedule will be retained. The new agreed-upon Baseline Project Schedule will be used to measure progress moving forward.
  2. The new Baseline Agreement must be agreed to by the Project Team. Each Contractor and the Director's Representative shall agree to it by completing the Baseline Agreement within the Project Work Plan Software (sample agreement included at the end of Section 013113).



## SECTION 033000 - CAST-IN-PLACE CONCRETE

Revised 8/19/2026 – Addendum 1

### PART 1 - GENERAL

#### 1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

#### 1.2 SUMMARY

- A. This Section specifies cast-in place concrete, including formwork, reinforcement, concrete materials, mixture design, placement procedures, and finishes, for the following:
  - 1. Footings.
  - 2. Foundation walls.
  - 3. Slabs-on-grade.
  - 4. Exterior material storage bin wall
- B. Related Sections include the following:
  - 1. Division 31 Section "Earth Moving" for drainage fill under slabs-on-grade.
  - 2. Division 32 Section "Concrete Paving" for concrete pavement and walks.

#### 1.3 DEFINITIONS

- A. Cementitious Materials: Portland cement alone or in combination with one or more of the following: blended hydraulic cement, fly ash and other pozzolans, ground granulated blast-furnace slag, and silica fume; subject to compliance with requirements.

#### 1.4 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Design Mixtures: For each concrete mixture. Submit alternate design mixtures when characteristics of materials, Project conditions, weather, test results, or other circumstances warrant adjustments.
  - 1. Indicate amounts of mixing water to be withheld for later addition at Project site.
- C. Steel Reinforcement Shop Drawings: Placing drawings that detail fabrication, bending, and placement. Include bar sizes, lengths, material, grade, bar schedules, stirrup spacing, bent bar diagrams, bar arrangement, splices and laps, mechanical connections, tie spacing, hoop spacing, and supports for concrete reinforcement.

- D. Formwork Shop Drawings: Prepared by or under the supervision of a qualified professional engineer detailing fabrication, assembly, and support of formwork.
  - 1. Shoring and Reshoring: Indicate proposed schedule and sequence of stripping formwork, shoring removal, and installing and removing reshoring.
- E. Samples: For waterstops
- F. Qualification Data: For Installer
- G. Material Test Reports: For the following, from a qualified testing agency, indicating compliance with requirements:
  - 1. Aggregates. Include service record data indicating absence of deleterious expansion of concrete due to alkali aggregate reactivity.
- H. Material Certificates: For each of the following, signed by manufacturers:
  - 1. Cementitious materials.
  - 2. Admixtures.
  - 3. Form materials and form-release agents.
  - 4. Steel reinforcement and accessories.
  - 5. Waterstops.
  - 6. Curing compounds.
  - 7. Joint-filler strips.
- I. Field quality-control test and inspection reports.
- J. Minutes of preinstallation conference.

## 1.5 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified installer who employs on Project personnel qualified as ACI-certified Flatwork Technician and Finisher and a supervisor who is an ACI-certified Concrete Flatwork Technician.
- B. Manufacturer Qualifications: A firm experienced in manufacturing ready-mixed concrete products and that complies with ASTM C 94/C 94M requirements for production facilities and equipment.
  - 1. Manufacturer certified according to NRMCA's "Certification of Ready Mixed Concrete Production Facilities."
- C. Testing Agency Qualifications: An independent agency, acceptable to authorities having jurisdiction, qualified according to ASTM C 1077 and ASTM E 329 for testing indicated, as documented according to ASTM E 548.
  - 1. Personnel conducting field tests shall be qualified as ACI Concrete Field Testing Technician, Grade 1, according to ACI CP-01 or an equivalent certification program.
  - 2. Personnel performing laboratory tests shall be ACI-certified Concrete Strength Testing Technician and Concrete Laboratory Testing Technician - Grade I. Testing Agency

laboratory supervisor shall be an ACI-certified Concrete Laboratory Testing Technician - Grade II.

- D. Source Limitations: Obtain each type or class of cementitious material of the same brand from the same manufacturer's plant, obtain aggregate from one source, and obtain admixtures through one source from a single manufacturer.
  - 1. ACI 117, "Specifications for Tolerances for Concrete Construction and Materials."
- E. Concrete Testing Service: Engage a qualified independent testing agency to perform material evaluation tests and to design concrete mixtures.
- F. Mockups: Cast concrete formed-surface panels to demonstrate typical joints, surface finish, texture, tolerances, and standard of workmanship.
  - 1. Build panel approximately 50 sq. ft. (9.3 sq. m) for formed surface in the location indicated or, if not indicated, as directed by Architect.
  - 2. Approved panels may become part of the completed Work if undisturbed at time of Substantial Completion.
- G. Preinstallation Conference: Conduct conference at Project site to comply with requirements in Division 01 Section "Project Management and Coordination."
  - 1. Before submitting design mixtures, review concrete design mixture and examine procedures for ensuring quality of concrete materials. Require representatives of each entity directly concerned with cast-in-place concrete to attend, including the following:
    - a. Contractor's superintendent.
    - b. Independent testing agency responsible for concrete design mixtures.
    - c. Ready-mix concrete manufacturer.
    - d. Concrete subcontractor.
  - 2. Review special inspection and testing and inspecting agency procedures for field quality control, concrete finishes and finishing, cold- and hot-weather concreting procedures, curing procedures, construction contraction and isolation joints, and joint-filler strips, semirigid joint fillers, forms and form removal limitations, shoring and reshoring procedures, steel reinforcement installation, concrete repair procedures, and concrete protection.

#### 1.6 DELIVERY, STORAGE, AND HANDLING

- A. Steel Reinforcement: Deliver, store, and handle steel reinforcement to prevent bending and damage. Avoid damaging coatings on steel reinforcement.
- B. Waterstops: Store waterstops under cover to protect from moisture, sunlight, dirt, oil, and other contaminants.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. In other Part 2 articles where titles below introduce lists, the following requirements apply to product selection:
  - 1. Available Products: Subject to compliance with requirements, products that may be incorporated into the Work include, but are not limited to, products specified.
  - 2. Products: Subject to compliance with requirements, provide one of the products specified.
  - 3. Available Manufacturers: Subject to compliance with requirements, manufacturers offering products that may be incorporated into the Work include, but are not limited to, manufacturers specified.
  - 4. Manufacturers: Subject to compliance with requirements, provide products by one of the manufacturers specified.

### 2.2 FORM-FACING MATERIALS

- A. Smooth-Formed Finished Concrete: Form-facing panels that will provide continuous, true, and smooth concrete surfaces. Furnish in largest practicable sizes to minimize number of joints.
  - 1. Exterior-grade plywood panels, suitable for concrete forms, complying with DOC PS 1, and as follows:
    - a. Medium-density overlay, Class 1 or better; mill-release agent treated and edge sealed.
- B. Rough-Formed Finished Concrete: Plywood, lumber, metal, or another approved material. Provide lumber dressed on at least two edges and one side for tight fit.
- C. Forms for Cylindrical Columns, Pedestals, and Supports: Metal, glass-fiber-reinforced plastic, paper, or fiber tubes that will produce surfaces with gradual or abrupt irregularities not exceeding specified formwork surface class. Provide units with sufficient wall thickness to resist plastic concrete loads without detrimental deformation.
- D. Chamfer Strips: Wood, metal, PVC, or rubber strips, 3/4 by 3/4 inch (19 by 19 mm), minimum.
- E. Form-Release Agent: Commercially formulated form-release agent that will not bond with, stain, or adversely affect concrete surfaces and will not impair subsequent treatments of concrete surfaces.
  - 1. Formulate form-release agent with rust inhibitor for steel form-facing materials.
- F. Form Ties: Factory-fabricated, removable or snap-off metal or glass-fiber-reinforced plastic form ties designed to resist lateral pressure of fresh concrete on forms and to prevent spalling of concrete on removal.
  - 1. Furnish units that will leave no corrodible metal closer than 1 inch (25 mm) to the plane of exposed concrete surface.

2. Furnish ties that, when removed, will leave holes no larger than 1 inch (25 mm) in diameter in concrete surface.

## 2.3 STEEL REINFORCEMENT

- A. Reinforcing Bars: ASTM A 615/A 615M, Grade 60 (Grade 420), deformed.
- B. Epoxy Coated Reinforcing Bars ASTM A615/A 615M, Grade 60, ASTM A 775/A 775M epoxy coated
- C. Plain-Steel Wire: ASTM A 82, as drawn
- D. Deformed-Steel Wire: ASTM A 496.
- E. Plain-Steel Welded Wire Reinforcement: ASTM A 185, plain, fabricated from as-drawn steel wire into flat sheets.
- F. Deformed-Steel Welded Wire Reinforcement: ASTM A 497, flat sheet.
- G. Galvanized-Steel Welded Wire Reinforcement: ASTM A 185, plain, fabricated from galvanized steel wire into flat sheets.

## 2.4 REINFORCEMENT ACCESSORIES

- A. Joint Dowel Bars: ASTM A 615/A 615M, Grade 60 (Grade 420), plain-steel bars, cut bars true to length with ends square and free of burrs.
- B. Epoxy-Coated Joint Dowel Bars: ASTM A 615/A 615M, Grade 60 (Grade 420), plain-steel bars, ASTM A 775/A 775M epoxy coated.
- C. Epoxy Repair Coating: Liquid, two-part, epoxy repair coating; compatible with epoxy coating on reinforcement and complying with ASTM A 775/A 775M.
- D. Bar Supports: Bolsters, chairs, spacers, and other devices for spacing, supporting, and fastening reinforcing bars and welded wire reinforcement in place. Manufacture bar supports from steel wire, plastic, or precast concrete according to CRSI's "Manual of Standard Practice," of greater compressive strength than concrete and as follows:
  1. For concrete surfaces exposed to view where legs of wire bar supports contact forms, use CRSI Class 1 plastic-protected steel wire or CRSI Class 2 stainless-steel bar supports.
  2. For epoxy-coated reinforcement, use epoxy-coated or other dielectric-polymer-coated wire bar supports.

## 2.5 CONCRETE MATERIALS

- A. Cementitious Material: Use the following cementitious materials, of the same type, brand, and source, throughout Project:
  1. Select type and color of portland cement from options in subparagraph below.

2. Portland Cement: ASTM C 150, Type I, white. Supplement with the following:
  - a. Fly Ash: ASTM C 618, Class C.
  - b. Ground Granulated Blast-Furnace Slag: ASTM C 989, Grade 100 or 120.
- B. Normal-Weight Aggregates: ASTM C 33, Class 1M coarse aggregate or better, graded. Provide aggregates from a single source with documented service record data of at least 10 years' satisfactory service in similar applications and service conditions using similar aggregates and cementitious materials.
  1. Maximum Coarse-Aggregate Size: 1 inch (25 mm) nominal.
  2. Fine Aggregate: Free of materials with deleterious reactivity to alkali in cement.

Water: ASTM C 94/C 94M.

## 2.6 ADMIXTURES

- A. Air-Entraining Admixture: ASTM C 260.
- B. Chemical Admixtures: Provide admixtures certified by manufacturer to be compatible with other admixtures and that will not contribute water-soluble chloride ions exceeding those permitted in hardened concrete. Do not use calcium chloride or admixtures containing calcium chloride.
  1. Water-Reducing Admixture: ASTM C 494/C 494M, Type A.
  2. Retarding Admixture: ASTM C 494/C 494M, Type B.
  3. Water-Reducing and Retarding Admixture: ASTM C 494/C 494M, Type D.
  4. High-Range, Water-Reducing Admixture: ASTM C 494/C 494M, Type F.
  5. High-Range, Water-Reducing and Retarding Admixture: ASTM C 494/C 494M, Type G.

## 2.7 CURING MATERIALS

- A. Evaporation Retarder: Waterborne, monomolecular film forming, manufactured for application to fresh concrete.
  1. Products:
    - a. Axim Concrete Technologies; Cimfilm.
    - b. Burke by Edoco; BurkeFilm.
    - c. ChemMasters; Spray-Film.
    - d. Conspec Marketing & Manufacturing Co., Inc., a Dayton Superior Company; Aquafilm.
    - e. Dayton Superior Corporation; Sure Film.
    - f. Euclid Chemical Company (The); Eucobar.
    - g. Kaufman Products, Inc.; Vapor Aid.
    - h. Lambert Corporation; Lambco Skin.
    - i. L&M Construction Chemicals, Inc.; E-Con.
    - j. MBT Protection and Repair, Div. of ChemRex; Confilm.
    - k. Meadows, W. R., Inc.; Sealtight Evapre.
    - l. Metalcrete Industries; Waterhold.

- m. Nox-Crete Products Group, Kinsman Corporation; Monofilm.
  - n. Sika Corporation, Inc.; SikaFilm.
  - o. Symons Corporation, a Dayton Superior Company; Finishing Aid.
  - p. Unitex; Pro-Film.
  - q. US Mix Products Company; US Spec Monofilm ER.
  - r. Vexcon Chemicals, Inc.; Certi-Vex EnvioAssist.
  
- B. Absorptive Cover: AASHTO M 182, Class 2, burlap cloth made from jute or kenaf, weighing approximately 9 oz./sq. yd. (305 g/sq. m) when dry.
  
- C. Moisture-Retaining Cover: ASTM C 171, polyethylene film or white burlap-polyethylene sheet.
  
- D. Water: Potable.
  
- E. Clear, Waterborne, Membrane-Forming Curing Compound: ASTM C 309, Type 1, Class B, dissipating.
  - 1. Products:
    - a. Anti-Hydro International, Inc.; AH Curing Compound #2 DR WB.
    - b. Burke by Edoco; Aqua Resin Cure.
    - c. ChemMasters; Safe-Cure Clear.
    - d. Conspec Marketing & Manufacturing Co., Inc., a Dayton Superior Company; W.B. Resin Cure.
    - e. Dayton Superior Corporation; Day Chem Rez Cure (J-11-W).
    - f. Euclid Chemical Company (The); Kurez DR VOX.
    - g. Kaufman Products, Inc.; Thinfilm 420.
    - h. Lambert Corporation; Aqua Kure-Clear.
    - i. L&M Construction Chemicals, Inc.; L&M Cure R.
    - j. Meadows, W. R., Inc.; 1100 Clear.
    - k. Nox-Crete Products Group, Kinsman Corporation; Resin Cure E.
    - l. Symons Corporation, a Dayton Superior Company; Resi-Chem Clear Cure.
    - m. Tamms Industries, Inc.; Horncure WB 30.
    - n. Unitex; Hydro Cure 309.
    - o. US Mix Products Company; US Spec Maxcure Resin Clear.
    - p. Vexcon Chemicals, Inc.; Certi-Vex Enviocure 100.

## 2.8 RELATED MATERIALS

- A. Expansion- and Isolation-Joint-Filler Strips: ASTM D 1752, cork or self-expanding cork.
  
- B. Semirigid Joint Filler: Two-component, semirigid, 100 percent solids, epoxy resin with a Type A shore durometer hardness of 80 per ASTM D 2240.
  
- C. Bonding Agent: ASTM C 1059, Type II, non-redispersible, acrylic emulsion or styrene butadiene.

## 2.9 CONCRETE MIXTURES, GENERAL

- A. Prepare design mixtures for each type and strength of concrete, proportioned on the basis of laboratory trial mixture or field test data, or both, according to ACI 301.
  - 1. Use a qualified independent testing agency for preparing and reporting proposed mixture designs based on laboratory trial mixtures.
- B. Cementitious Materials: Limit percentage, by weight, of cementitious materials other than portland cement in concrete as follows:
  - 1. Fly Ash: 25 percent.
- C. Limit water-soluble, chloride-ion content in hardened concrete to 0.06 percent by weight of cement.
- D. Admixtures: Use admixtures according to manufacturer's written instructions.
  - 1. Use water-reducing admixture in concrete, as required, for placement and workability.
  - 2. Use water-reducing and retarding admixture when required by high temperatures, low humidity, or other adverse placement conditions.

## 2.10 FABRICATING REINFORCEMENT

- A. Fabricate steel reinforcement according to CRSI's "Manual of Standard Practice."

## 2.11 CONCRETE MIXING

- A. Ready-Mixed Concrete: Measure, batch, mix, and deliver concrete according to ASTM C 94/C 94M, and furnish batch ticket information.
  - 1. When air temperature is between 85 and 90 deg F (30 and 32 deg C), reduce mixing and delivery time from 1-1/2 hours to 75 minutes; when air temperature is above 90 deg F (32 deg C), reduce mixing and delivery time to 60 minutes.
- B. Project-Site Mixing: Measure, batch, and mix concrete materials and concrete according to ASTM C 94/C 94M. Mix concrete materials in appropriate drum-type batch machine mixer.
  - 1. For mixer capacity of 1 cu. yd. (0.76 cu. m) or smaller, continue mixing at least 1-1/2 minutes, but not more than 5 minutes after ingredients are in mixer, before any part of batch is released.
  - 2. For mixer capacity larger than 1 cu. yd. (0.76 cu. m), increase mixing time by 15 seconds for each additional 1 cu. yd. (0.76 cu. m).
  - 3. Provide batch ticket for each batch discharged and used in the Work, indicating Project identification name and number, date, mixture type, mixture time, quantity, and amount of water added. Record approximate location of final deposit in structure.

## 2.12 Global Warming Potential Limits

1. The Global Warming Potential (GWP) of standard ready-mix concrete mixes shall meet the maximum limits outlined in the table below. GWP of each mix will be verified through the submission of an EPD.

### Maximum Global Warming Potential (GWP) Limits

#### for Low Embodied Carbon Concrete

| Specified compressive strength<br>(f <sub>c</sub> in PSI) | NYS Buy Clean Concrete GWP Limits<br>(in kilograms of carbon dioxide equivalent per cubic yard<br>- kgCO <sub>2</sub> e/y <sup>3</sup> ) | NYS Buy Clean Concrete GWP Limits<br>(in kilograms of carbon dioxide equivalent per cubic meter -<br>kgCO <sub>2</sub> e/m <sup>3</sup> ) |
|-----------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|
| 0 - 2500                                                  | 275                                                                                                                                      | 360                                                                                                                                       |
| 2501 - 3000                                               | 302                                                                                                                                      | 395                                                                                                                                       |
| 3001 - 4000                                               | 360                                                                                                                                      | 471                                                                                                                                       |
| 4001 - 5000                                               | 434                                                                                                                                      | 568                                                                                                                                       |
| 5001 - 6000                                               | 458                                                                                                                                      | 599                                                                                                                                       |
| 6001 - 8000                                               | 541                                                                                                                                      | 707                                                                                                                                       |
| 8000+                                                     | N/A                                                                                                                                      | N/A                                                                                                                                       |

The maximum GWP limits are not applicable to quick cure concrete, concrete designed to cure to its design strength quicker than the standard 28 days

## PART 3 - EXECUTION

### 3.1 FORMWORK

- A. Design, erect, shore, brace, and maintain formwork, according to ACI 301, to support vertical, lateral, static, and dynamic loads, and construction loads that might be applied, until structure can support such loads.
- B. Construct formwork so concrete members and structures are of size, shape, alignment, elevation, and position indicated, within tolerance limits of ACI 117.
- C. Limit concrete surface irregularities, designated by ACI 347R as abrupt or gradual, as follows:
  1. Class A, 1/8 inch (3.2 mm) for smooth-formed finished surfaces.
  2. Class B, 1/4 inch (6 mm) for rough-formed finished surfaces.
- D. Construct forms tight enough to prevent loss of concrete mortar.
- E. Fabricate forms for easy removal without hammering or prying against concrete surfaces. Provide crush or wrecking plates where stripping may damage cast concrete surfaces. Provide top forms for inclined surfaces steeper than 1.5 horizontal to 1 vertical.
  1. Install keyways, reglets, recesses, and the like, for easy removal.
  2. Do not use rust-stained steel form-facing material.

- F. Set edge forms, bulkheads, and intermediate screed strips for slabs to achieve required elevations and slopes in finished concrete surfaces. Provide and secure units to support screed strips; use strike-off templates or compacting-type screeds.
- G. Chamfer exterior corners and edges of permanently exposed concrete.
- H. Clean forms and adjacent surfaces to receive concrete. Remove chips, wood, sawdust, dirt, and other debris just before placing concrete.
- I. Retighten forms and bracing before placing concrete, as required, to prevent mortar leaks and maintain proper alignment.
- J. Coat contact surfaces of forms with form-release agent, according to manufacturer's written instructions, before placing reinforcement.

### 3.2 EMBEDDED ITEMS

- A. Place and secure anchorage devices and other embedded items required for adjoining work that is attached to or supported by cast-in-place concrete. Use setting drawings, templates, diagrams, instructions, and directions furnished with items to be embedded.
  - 1. Install anchor rods, accurately located, to elevations required and complying with tolerances in Section 7.5 of AISC's "Code of Standard Practice for Steel Buildings and Bridges."
  - 2. Install reglets to receive waterproofing and to receive through-wall flashings in outer face of concrete frame at exterior walls, where flashing is shown at lintels, shelf angles, and other conditions.
  - 3. Install dovetail anchor slots in concrete structures as indicated.

### 3.3 REMOVING AND REUSING FORMS

- A. General: Formwork for sides of beams, walls, columns, and similar parts of the Work that does not support weight of concrete may be removed after cumulatively curing at not less than 50 deg F (10 deg C) for 24 hours after placing concrete, if concrete is hard enough to not be damaged by form-removal operations and curing and protection operations are maintained.
  - 1. Leave formwork for beam soffits, joists, slabs, and other structural elements that supports weight of concrete in place until concrete has achieved at least 70 percent of its 28-day design compressive strength.
  - 2. Remove forms only if shores have been arranged to permit removal of forms without loosening or disturbing shores.
- B. Clean and repair surfaces of forms to be reused in the Work. Split, frayed, delaminated, or otherwise damaged form-facing material will not be acceptable for exposed surfaces. Apply new form-release agent.
- C. When forms are reused, clean surfaces, remove fins and laitance, and tighten to close joints. Align and secure joints to avoid offsets. Do not use patched forms for exposed concrete surfaces unless approved by Architect.

### 3.4 SHORES AND RESHORES

- A. Comply with ACI 318 (ACI 318M) and ACI 301 for design, installation, and removal of shoring and reshoring.
  - 1. Do not remove shoring or reshoring until measurement of slab tolerances is complete.

### 3.5 STEEL REINFORCEMENT

- A. General: Comply with CRSI's "Manual of Standard Practice" for placing reinforcement.
  - 1. Do not cut or puncture vapor retarder. Repair damage and reseal vapor retarder before placing concrete.
- B. Clean reinforcement of loose rust and mill scale, earth, ice, and other foreign materials that would reduce bond to concrete.
- C. Accurately position, support, and secure reinforcement against displacement. Locate and support reinforcement with bar supports to maintain minimum concrete cover. Do not tack weld crossing reinforcing bars.
- D. Set wire ties with ends directed into concrete, not toward exposed concrete surfaces.
- E. Install welded wire reinforcement in longest practicable lengths on bar supports spaced to minimize sagging. Lap edges and ends of adjoining sheets at least one mesh spacing. Offset laps of adjoining sheet widths to prevent continuous laps in either direction. Lace overlaps with wire.
- F. Epoxy-Coated Reinforcement: Repair cut and damaged epoxy coatings with epoxy repair coating according to ASTM D 3963/D 3963M. Use epoxy-coated steel wire ties to fasten epoxy-coated steel reinforcement.

### 3.6 JOINTS

- A. General: Construct joints true to line with faces perpendicular to surface plane of concrete.
- B. Construction Joints: Install so strength and appearance of concrete are not impaired, at locations indicated or as approved by Architect.
  - 1. Place joints perpendicular to main reinforcement. Continue reinforcement across construction joints, unless otherwise indicated. Do not continue reinforcement through sides of strip placements of floors and slabs.
  - 2. Locate joints as shown on plans.
  - 3. Use a bonding agent at locations where fresh concrete is placed against hardened or partially hardened concrete surfaces.
  - 4. Use epoxy-bonding adhesive at locations where fresh concrete is placed against hardened or partially hardened concrete surfaces.

- C. Contraction Joints in Slabs-on-Grade: Form weakened-plane contraction joints, sectioning concrete into areas as indicated. Construct contraction joints for a depth equal to at least one-fourth of concrete thickness as follows:
  - 1. Grooved Joints: Form contraction joints after initial floating by grooving and finishing each edge of joint to a radius of 1/8 inch (3.2 mm). Repeat grooving of contraction joints after applying surface finishes. Eliminate groover tool marks on concrete surfaces.
  - 2. Sawed Joints: Form contraction joints with power saws equipped with shatterproof abrasive or diamond-rimmed blades. Cut 1/8-inch- (3.2-mm-) wide joints into concrete when cutting action will not tear, abrade, or otherwise damage surface and before concrete develops random contraction cracks.
- D. Isolation Joints in Slabs-on-Grade: After removing formwork, install joint-filler strips at slab junctions with vertical surfaces, such as column pedestals, foundation walls, grade beams, and other locations, as indicated.
  - 1. Extend joint-filler strips full width and depth of joint, terminating flush with finished concrete surface, unless otherwise indicated.
  - 2. Terminate full-width joint-filler strips not less than 1/2 inch (13 mm) or more than 1 inch (25 mm) below finished concrete surface where joint sealants, specified in Division 07 Section "Joint Sealants," are indicated.
  - 3. Install joint-filler strips in lengths as long as practicable. Where more than one length is required, lace or clip sections together.
- E. Doweled Joints: Install dowel bars and support assemblies at joints where indicated. Lubricate or asphalt coat one-half of dowel length to prevent concrete bonding to one side of joint.

### 3.7 CONCRETE PLACEMENT

- A. Before placing concrete, verify that installation of formwork, reinforcement, and embedded items is complete and that required inspections have been performed.
- B. Do not add water to concrete during delivery, at Project site, or during placement unless approved by Architect.
- C. Deposit concrete continuously in one layer or in horizontal layers of such thickness that no new concrete will be placed on concrete that has hardened enough to cause seams or planes of weakness. If a section cannot be placed continuously, provide construction joints as indicated. Deposit concrete to avoid segregation.
  - 1. Deposit concrete in horizontal layers of depth to not exceed formwork design pressures and in a manner to avoid inclined construction joints.
  - 2. Consolidate placed concrete with mechanical vibrating equipment according to ACI 301.
  - 3. Do not use vibrators to transport concrete inside forms. Insert and withdraw vibrators vertically at uniformly spaced locations to rapidly penetrate placed layer and at least 6 inches (150 mm) into preceding layer. Do not insert vibrators into lower layers of concrete that have begun to lose plasticity. At each insertion, limit duration of vibration to time necessary to consolidate concrete and complete embedment of reinforcement and other embedded items without causing mixture constituents to segregate.

- D. Deposit and consolidate concrete for floors and slabs in a continuous operation, within limits of construction joints, until placement of a panel or section is complete.
1. Consolidate concrete during placement operations so concrete is thoroughly worked around reinforcement and other embedded items and into corners.
  2. Maintain reinforcement in position on chairs during concrete placement.
  3. Screed slab surfaces with a straightedge and strike off to correct elevations.
  4. Slope surfaces uniformly to drains where required.
  5. Begin initial floating using bull floats or darbies to form a uniform and open-textured surface plane, before excess bleedwater appears on the surface. Do not further disturb slab surfaces before starting finishing operations.
- E. Cold-Weather Placement: Comply with ACI 306.1 and as follows. Protect concrete work from physical damage or reduced strength that could be caused by frost, freezing actions, or low temperatures.
1. When average high and low temperature is expected to fall below 40 deg F (4.4 deg C) for three successive days, maintain delivered concrete mixture temperature within the temperature range required by ACI 301.
  2. Do not use frozen materials or materials containing ice or snow. Do not place concrete on frozen subgrade or on subgrade containing frozen materials.
  3. Do not use calcium chloride, salt, or other materials containing antifreeze agents or chemical accelerators unless otherwise specified and approved in mixture designs.
- F. Hot-Weather Placement: Comply with ACI 301 and as follows:
1. Maintain concrete temperature below 90 deg F (32 deg C) at time of placement. Chilled mixing water or chopped ice may be used to control temperature, provided water equivalent of ice is calculated to total amount of mixing water. Using liquid nitrogen to cool concrete is Contractor's option.
  2. Fog-spray forms, steel reinforcement, and subgrade just before placing concrete. Keep subgrade uniformly moist without standing water, soft spots, or dry areas.

### 3.8 FINISHING FORMED SURFACES

- A. Smooth-Formed Finish: As-cast concrete texture imparted by form-facing material, arranged in an orderly and symmetrical manner with a minimum of seams. Repair and patch tie holes and defects. Remove fins and other projections that exceed specified limits on formed-surface irregularities.
1. Apply to materials storage bin walls

### 3.9 FINISHING FLOORS AND SLABS

- A. Broom Finish: Apply a broom finish to exterior concrete platforms, steps, and ramps, and elsewhere as indicated.

1. Immediately after float finishing, slightly roughen trafficked surface by brooming with fiber-bristle broom perpendicular to main traffic route. Coordinate required final finish with Architect before application.

### 3.10 MISCELLANEOUS CONCRETE ITEMS

- A. Filling In: Fill in holes and openings left in concrete structures, unless otherwise indicated, after work of other trades is in place. Mix, place, and cure concrete, as specified, to blend with in-place construction. Provide other miscellaneous concrete filling indicated or required to complete the Work.

### 3.11 CONCRETE PROTECTING AND CURING

- A. General: Protect freshly placed concrete from premature drying and excessive cold or hot temperatures. Comply with ACI 306.1 for cold-weather protection and ACI 301 for hot-weather protection during curing.
- B. Evaporation Retarder: Apply evaporation retarder to unformed concrete surfaces if hot, dry, or windy conditions cause moisture loss approaching 0.2 lb/sq. ft. x h (1 kg/sq. m x h) before and during finishing operations. Apply according to manufacturer's written instructions after placing, screeding, and bull floating or darbying concrete, but before float finishing.
- C. Formed Surfaces: Cure formed concrete surfaces, including underside of beams, supported slabs, and other similar surfaces. If forms remain during curing period, moist cure after loosening forms. If removing forms before end of curing period, continue curing for the remainder of the curing period.
- D. Unformed Surfaces: Begin curing immediately after finishing concrete. Cure unformed surfaces, including floors and slabs, concrete floor toppings, and other surfaces.
- E. Cure concrete according to ACI 308.1, by one or a combination of the following methods:
  1. Moisture Curing: Keep surfaces continuously moist for not less than seven days with the following materials:
    - a. Water.
    - b. Continuous water-fog spray.
    - c. Absorptive cover, water saturated, and kept continuously wet. Cover concrete surfaces and edges with 12-inch (300-mm) lap over adjacent absorptive covers.
  2. Moisture-Retaining-Cover Curing: Cover concrete surfaces with moisture-retaining cover for curing concrete, placed in widest practicable width, with sides and ends lapped at least 12 inches (300 mm), and sealed by waterproof tape or adhesive. Cure for not less than seven days. Immediately repair any holes or tears during curing period using cover material and waterproof tape.
    - a. Moisture cure or use moisture-retaining covers to cure concrete surfaces to receive floor coverings.

- b. Moisture cure or use moisture-retaining covers to cure concrete surfaces to receive penetrating liquid floor treatments.
- c. Cure concrete surfaces to receive floor coverings with either a moisture-retaining cover or a curing compound that the manufacturer certifies will not interfere with bonding of floor covering used on Project..

### 3.12 JOINT FILLING

- A. Prepare, clean, and install joint filler according to manufacturer's written instructions.
- B. Remove dirt, debris, saw cuttings, curing compounds, and sealers from joints; leave contact faces of joint clean and dry.
- C. Install semirigid joint filler full depth in saw-cut joints and at least 2 inches (50 mm) deep in formed joints. Overfill joint and trim joint filler flush with top of joint after hardening.

### 3.13 CONCRETE SURFACE REPAIRS

- A. Defective Concrete: Repair and patch defective areas when approved by Architect. Remove and replace concrete that cannot be repaired and patched to Architect's approval.
- B. Patching Mortar: Mix dry-pack patching mortar, consisting of one part portland cement to two and one-half parts fine aggregate passing a No. 16 (1.18-mm) sieve, using only enough water for handling and placing.
- C. Repairing Formed Surfaces: Surface defects include color and texture irregularities, cracks, spalls, air bubbles, honeycombs, rock pockets, fins and other projections on the surface, and stains and other discolorations that cannot be removed by cleaning.
  - 1. Immediately after form removal, cut out honeycombs, rock pockets, and voids more than 1/2 inch (13 mm) in any dimension in solid concrete, but not less than 1 inch (25 mm) in depth. Make edges of cuts perpendicular to concrete surface. Clean, dampen with water, and brush-coat holes and voids with bonding agent. Fill and compact with patching mortar before bonding agent has dried. Fill form-tie voids with patching mortar or cone plugs secured in place with bonding agent.
  - 2. Repair defects on surfaces exposed to view by blending white portland cement and standard portland cement so that, when dry, patching mortar will match surrounding color. Patch a test area at inconspicuous locations to verify mixture and color match before proceeding with patching. Compact mortar in place and strike off slightly higher than surrounding surface.
  - 3. Repair defects on concealed formed surfaces that affect concrete's durability and structural performance as determined by Architect.
- D. Repairing Unformed Surfaces: Test unformed surfaces, such as floors and slabs, for finish and verify surface tolerances specified for each surface. Correct low and high areas. Test surfaces sloped to drain for trueness of slope and smoothness; use a sloped template.

1. Repair finished surfaces containing defects. Surface defects include spalls, popouts, honeycombs, rock pockets, crazing and cracks in excess of 0.01 inch (0.25 mm) wide or that penetrate to reinforcement or completely through unreinforced sections regardless of width, and other objectionable conditions.
  2. After concrete has cured at least 14 days, correct high areas by grinding.
  3. Correct localized low areas during or immediately after completing surface finishing operations by cutting out low areas and replacing with patching mortar. Finish repaired areas to blend into adjacent concrete.
  4. Correct other low areas scheduled to receive floor coverings with a repair underlayment. Prepare, mix, and apply repair underlayment and primer according to manufacturer's written instructions to produce a smooth, uniform, plane, and level surface. Feather edges to match adjacent floor elevations.
  5. Correct other low areas scheduled to remain exposed with a repair topping. Cut out low areas to ensure a minimum repair topping depth of 1/4 inch (6 mm) to match adjacent floor elevations. Prepare, mix, and apply repair topping and primer according to manufacturer's written instructions to produce a smooth, uniform, plane, and level surface.
  6. Repair defective areas, except random cracks and single holes 1 inch (25 mm) or less in diameter, by cutting out and replacing with fresh concrete. Remove defective areas with clean, square cuts and expose steel reinforcement with at least a 3/4-inch (19-mm) clearance all around. Dampen concrete surfaces in contact with patching concrete and apply bonding agent. Mix patching concrete of same materials and mixture as original concrete except without coarse aggregate. Place, compact, and finish to blend with adjacent finished concrete. Cure in same manner as adjacent concrete.
  7. Repair random cracks and single holes 1 inch (25 mm) or less in diameter with patching mortar. Groove top of cracks and cut out holes to sound concrete and clean off dust, dirt, and loose particles. Dampen cleaned concrete surfaces and apply bonding agent. Place patching mortar before bonding agent has dried. Compact patching mortar and finish to match adjacent concrete. Keep patched area continuously moist for at least 72 hours.
- E. Perform structural repairs of concrete, subject to Architect's approval, using epoxy adhesive and patching mortar.
- F. Repair materials and installation not specified above may be used, subject to Architect's approval.

### 3.14 FIELD QUALITY CONTROL

- A. Make available to the Director's Representatives whatever test samples are required to make tests. Furnish shipping boxes for compression test cylinders.
- B. Testing and Inspecting: Owner will engage a special inspector to perform field tests and inspections and prepare test reports.
- C. Inspections:
1. Steel reinforcement placement.
  2. Verification of use of required design mixture.
  3. Concrete placement, including conveying and depositing.
  4. Curing procedures and maintenance of curing temperature.
  5. Verification of concrete strength before removal of shores and forms from beams and slabs.

D. Concrete Tests: Testing of composite samples of fresh concrete obtained according to ASTM C 172 shall be performed according to the following requirements:

1. Testing Frequency: Obtain one composite sample for each day's pour of each concrete mixture exceeding 5 cu. yd. (4 cu. m), but less than 25 cu. yd. (19 cu. m), plus one set for each additional 50 cu. yd. (38 cu. m) or fraction thereof.

END OF SECTION 033000

SECTION 321313 - CONCRETE PAVING  
Revised 8/19/2026 – Addendum 1

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes Concrete Paving:

1. Parking lots.
2. Walks.

B. Related Requirements:

Section 033000 "Cast-in-Place Concrete" for general building applications of concrete.

1.2 REFERENCES

A. American Concrete Institute

1. CP-1 Technician Workbook for ACI Certification of Concrete Field Testing Technician.
2. ACI 301 - Specifications for Structural Concrete
3. ACI 306.1 – Standard Specification for Cold Weather Concreting
4. ACI 318-19 – Building Code Requirements

B. ASTM International

1. ASTM A775 - Standard Specification for Epoxy-Coated Steel Reinforcing Bars
2. ASTM A884 - Standard Specification for Epoxy-Coated Steel Wire and Welded Wire Reinforcement
3. ASTM A934 - Standard Specification for Epoxy-Coated Prefabricated Steel Reinforcing Bars
4. ASTM A1064 - Standard Specification for Carbon-Steel Wire and Welded Wire Reinforcement, Plain and Deformed, for Concrete
5. ASTM C31 - Standard Practice for Making and Curing Concrete Test Specimens in the Field
6. ASTM C39 - Standard Test Method for Compressive Strength of Cylindrical Concrete Specimens
7. ASTM C94 - Standard Specification for Ready-Mixed Concrete
8. ASTM C143 - Standard Test Method for Slump of Hydraulic-Cement Concrete
9. ASTM C150 - Standard Specification for Portland Cement
10. ASTM C172 - Standard Practice for Sampling Freshly Mixed Concrete
11. ASTM C231 - Standard Test Method for Air Content of Freshly Mixed Concrete by the Pressure Method
12. ASTM C260 - Standard Specification for Air-Entraining Admixtures for Concrete
13. ASTM C494 - Standard Specification for Chemical Admixtures for Concrete
14. ASTM C618 - Standard Specification for Coal Fly Ash and Raw or Calcined Natural Pozzolan for Use in Concrete

15. ASTM C1077 - Standard Practice for Agencies Testing Concrete and Concrete Aggregates for Use in Construction and Criteria for Testing Agency Evaluation
16. ASTM C1116 - Standard Specification for Fiber-Reinforced Concrete
17. ASTM D1751 - Standard Specification for Preformed Expansion Joint Filler for Concrete Paving and Structural Construction (Nonextruding and Resilient Bituminous Types)
18. ASTM D3963 - Standard Specification for Fabrication and Jobsite Handling of Epoxy-Coated Steel Reinforcing Bars
19. ASTM E329 - Standard Specification for Agencies Engaged in Construction Inspection, Testing, or Special Inspection

C. New York State Department of Transportation

1. DOT 501-3 – Construction Details
2. DOT 502 – Portland Cement Concrete Pavement
3. DOT 705-15 – Transverse Joint Supports
4. DOT 711-02 – Quilted Covers (For Curing)

### 1.3 DEFINITIONS

- A. Cementitious Materials: Portland cement alone or in combination with one or more of blended hydraulic cement, fly ash, slag cement, and other pozzolans.
- B. W/C Ratio: The ratio by weight of water to cementitious materials.

### 1.4 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.
  1. Review methods and procedures related to concrete paving, including but not limited to, the following:
    - a. Concrete mixture design.
    - b. Quality control of concrete materials and concrete paving construction practices.
    - c. Layout and placement
  2. Require representatives of each entity directly concerned with concrete paving to attend, including the following:
    - a. Contractor's superintendent.
    - b. Independent testing agency responsible for concrete design mixtures.
    - c. Ready-mix concrete manufacturer.
    - d. Concrete paving Subcontractor.

## 1.5 SUBMITTALS

- A. Submittals for this section are subject to the re-evaluation fee identified in Article 4 of the General Conditions.
- B. Manufacturer's installation instructions shall be provided along with product data.
- C. Submittals shall be provided in the order in which they are specified and tabbed (for combined submittals).
- D. Product Data: For each type of product.
- E. Submit an Environmental Product Declaration (EPD) from the manufacturer for each concrete mix and steel reinforcement bar within this specification section, if available. A statement of the contractor's good faith effort to obtain the EPD shall be provided if not available.
  - 1. Manufacturer-provided EPDs must be Product Specific Type III (Third-Party Reviewed), in adherence with ISO 14025 *Environmental labels and declarations*, ISO 14044 *Environmental management – Life cycle assessment*, and ISO 21930 *Core rules for environmental product declarations of construction products and services*.
- F. Design Mixtures: For each concrete paving mixture. Include alternate design mixtures when characteristics of materials, Project conditions, weather, test results, or other circumstances warrant adjustments.
- G. Qualification Data: For qualified ready-mix concrete manufacturer.
- H. Material Certificates: For the following, from manufacturer:
  - 1. Cementitious materials.
  - 2. Steel reinforcement and reinforcement accessories.
  - 3. Admixtures.
  - 4. Curing compounds.
  - 5. Applied finish materials.
  - 6. Joint fillers.
  - 7. ADA Detectable Warning Surface: Manufacturer's specifications, product data, test reports, method of installation, and maintenance instructions.
- I. Quality Control Submittals:
  - 1. Data: Name and location of batch plant for concrete paving.
- J. Ready-Mix-Concrete Manufacturer Qualifications: Concrete batching plants shall be currently approved as concrete suppliers by the New York State Department of Transportation.
  - 1. Personnel conducting field tests shall be qualified as ACI Concrete Field Testing Technician, Grade 1, according to ACI CP-1 or an equivalent certification program.

## 1.6 PRECONSTRUCTION TESTING

- A. Preconstruction Testing Service: The Director's Representative will engage a qualified independent testing agency to perform preconstruction testing on concrete paving mixtures.

## 1.7 FIELD CONDITIONS

- A. Traffic Control: Maintain access for vehicular and pedestrian traffic as shown in the Contract Drawings.
- B. Cold-Weather Concrete Placement: Protect concrete work from physical damage or reduced strength that could be caused by frost, freezing, or low temperatures. Comply with NYS DOT 502 and the following:
  - 1. Place concrete when the air temperature of the area to be paved is 40 deg F and rising, or warmer, and when the surface temperature of the area to be paved is 40 deg F, or warmer.
  - 2. Do not use frozen materials or materials containing ice or snow.
  - 3. Do not use calcium chloride, salt, or other materials containing antifreeze agents or chemical accelerators unless otherwise specified and approved in design mixtures.
- C. Hot-Weather Concrete Placement: Comply with ACI 301 and as follows when hot-weather conditions exist:
  - 1. Cool ingredients before mixing to maintain concrete temperature below 90 deg F at time of placement. Chilled mixing water or chopped ice may be used to control temperature, provided water equivalent of ice is calculated in total amount of mixing water. Using liquid nitrogen to cool concrete is Contractor's option.
  - 2. Cover steel reinforcement with water-soaked burlap, so steel temperature will not exceed ambient air temperature immediately before embedding in concrete.
  - 3. Fog-spray forms, steel reinforcement, and subgrade just before placing concrete. Keep subgrade moisture uniform without standing water, soft spots, or dry areas.

## PART 2 - PRODUCTS

### 2.1 CONCRETE, GENERAL

- A. ACI Publications: Comply with ACI 301 unless otherwise indicated.

### 2.2 FORMS

- A. Form Materials: Plywood, metal, metal-framed plywood, or other approved panel-type materials to provide full-depth, continuous, straight, and smooth exposed surfaces.
  - 1. Use flexible or uniformly curved forms for curves with a radius of 100 feet or less. Do not use notched and bent forms.

- B. Form-Release Agent: Commercially formulated form-release agent that will not bond with, stain, or adversely affect concrete surfaces and that will not impair subsequent treatments of concrete surfaces.

## 2.3 STEEL REINFORCEMENT

- A. Epoxy-Coated Welded-Wire Reinforcement: ASTM A884, Class A, plain steel. Reinforcing Bars: ASTM A615, Grade 60; deformed.
- B. Epoxy-Coated Reinforcing Bars: ASTM A775 or ASTM A934; with ASTM A615, Grade 60 deformed bars.
- C. Joint Dowel Bars: ASTM A615, Grade 60 plain-steel bars with plastic sleeve. Cut bars true to length with ends square and free of burrs.
- D. Tie Bars: ASTM A615, Grade 60; deformed.
- E. Hook Bolts: ASTM A307, Grade A, internally and externally threaded. Design hook-bolt joint assembly to hold coupling against paving form and in position during concreting operations, and to permit removal without damage to concrete or hook bolt.

## 2.4 CONCRETE MATERIALS

- A. Cementitious Materials: Use the following cementitious materials, of same type, brand, and source throughout Project:
  - 1. Portland Cement: ASTM C150, white Portland cement Type II.
  - 2. Fly Ash: ASTM C618, Class F.
  - 3. Slag Cement: ASTM C989, Grade 100 or 120.
- B. Normal-Weight Aggregates: ASTM C33, Class 4S, uniformly graded. Provide aggregates from a single source on the NYS DOT Approved List of Sources of Fine and Coarse Aggregates.
  - 1. Use only crushed stone, crushed gravel, or crushed slag meeting the requirements of NYS DOT Section 703-02, Coarse Aggregates in either one or a combination of size designations specified in NYS DOT Table 703-4, Sizes of Stone, Gravel, and Slag and graded according to NYS DOT Table 501-2, Coarse Aggregate Gradations.
  - 2. Fine Aggregate: Free of materials with deleterious reactivity to alkali in cement.
- C. Air-Entraining Admixture: meeting ASTM C260 and appearing on the NYS DOT Approved List of Materials.

- D. Chemical Admixtures: Admixtures certified by manufacturer to be compatible with other admixtures and to contain not more than 0.1 percent water-soluble chloride ions by mass of cementitious material and appearing on the NYS DOT Approved List of Materials.
1. Water-Reducing Admixture: ASTM C494, Type A and appearing on the NYS DOT Approved List of Materials.
  2. Retarding Admixture: ASTM C494, Type B.
  3. Water-Reducing and Retarding Admixture: ASTM C494, Type D and appearing on the NYS DOT Approved List of Materials.
  4. High-Range, Water-Reducing Admixture: ASTM C494, Type F and appearing on the NYS DOT Approved List of Materials.
  5. High-Range, Water-Reducing and Retarding Admixture: ASTM C494, Type G.
  6. Plasticizing and Retarding Admixture: ASTM C1017, Type II.
- E. Water: Potable and complying with ASTM C94.
- F. Global Warming Potential Limits
1. The Global Warming Potential (GWP) of standard ready-mix concrete mixes shall meet the maximum limits outlined in the table below. GWP of each mix will be verified through the submission of an EPD.

Maximum Global Warming Potential (GWP) Limits  
for Low Embodied Carbon Concrete

| Specified compressive strength<br>( $f_c$ in PSI) | NYS Buy Clean Concrete GWP Limits<br>(in kilograms of carbon dioxide equivalent per cubic yard<br>- $\text{kgCO}_2\text{e/y}^3$ ) | NYS Buy Clean Concrete GWP Limits<br>(in kilograms of carbon dioxide equivalent per cubic meter -<br>$\text{kgCO}_2\text{e/m}^3$ ) |
|---------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| 0 - 2500                                          | 275                                                                                                                               | 360                                                                                                                                |
| 2501 - 3000                                       | 302                                                                                                                               | 395                                                                                                                                |
| 3001 - 4000                                       | 360                                                                                                                               | 471                                                                                                                                |
| 4001 - 5000                                       | 434                                                                                                                               | 568                                                                                                                                |
| 5001 - 6000                                       | 458                                                                                                                               | 599                                                                                                                                |
| 6001 - 8000                                       | 541                                                                                                                               | 707                                                                                                                                |
| 8000+                                             | N/A                                                                                                                               | N/A                                                                                                                                |

2. The maximum GWP limits are not applicable to quick cure concrete, concrete designed to cure to its design strength quicker than the standard 28 days.

## 2.5 CURING MATERIALS

- A. Absorptive Cover: AASHTO M 182, Class 3, burlap cloth made from jute or kenaf, weighing approximately 9 oz./sq. yd. dry.
- B. Moisture-Retaining Cover: ASTM C171, polyethylene film or white burlap-polyethylene sheet.

- C. Water: Potable.
- D. Evaporation Retarder: Waterborne, monomolecular, film forming, manufactured for application to fresh concrete.
  - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
    - a. Kaufman Products, Inc, (410) 354-8600, 3811 Curtis Ave, Curtis Bay, MD 21226
    - b. Laticrete International, Inc, (800) 243-4788, One LATICRETE Park, North Bethany, CT 06524-3423, USA
    - c. Sika Corporation, (800) 933-7452, 201 Polito Avenue, Lyndhurst, NJ 07071
    - d. Approved equivalent.
- E. Clear, Waterborne, Membrane-Forming Curing Compound: ASTM C309, Type 1, Class B, dissipating. The VOC content shall meet the requirements of the EPA national AIM VOC regulations and NYS DEC regulation 6 NYCRR Part 205 – “Architectural and Industrial (AIM) Coatings”.
  - 1. Products: Subject to compliance with requirements, provide one of the following:
    - a. Dayton Superior;.
    - b. Kaufman Products, Inc; DR Cure.
    - c. Unitex by Dayton Superior; Hydroseal 18.
    - d. Approved equivalent.

## 2.6 RELATED MATERIALS

- A. Joint Fillers: ASTM D1752, cork or self-expanding cork in preformed strips.
- B. Bonding Agent: ASTM C1059, Type II, non-redispersible, acrylic emulsion or styrene butadiene.
- C. Epoxy-Bonding Adhesive: ASTM C881, two-component epoxy resin capable of humid curing and bonding to damp surfaces; of class suitable for application temperature, of grade complying with requirements, and of the following types:
- D. Chemical Surface Retarder: Water-soluble, liquid, set retarder with color dye, for horizontal concrete surface application, capable of temporarily delaying final hardening of concrete to a depth of 1/8 to 1/4 inch.
  - a. Products: Subject to compliance with requirements, provide one of the following:
    - 1) Dayton Superior; Top-Cast.
    - 2) Kaufman Products, Inc; Expose.
    - 3) Sika Corporation; Rugasol-S.
    - 4) Approved equivalent.

## 2.7 CONCRETE MIXTURES

- A. Prepare design mixtures, proportioned according to ACI 301, for each type and strength of normal-weight concrete, at a NYS DOT-approved concrete batching plant.
- B. Cementitious Materials: Limit percentage, by weight, of cementitious materials other than Portland Cement in concrete as follows:
  - 1. Fly Ash or Pozzolan: 20 percent.
- C. Add air-entraining admixture at manufacturer's prescribed rate to result in normal-weight concrete at point of placement having an air content as follows:
  - 1. Air Content: 6.5 percent plus or minus 1-1/2 percent.
- D. Limit water-soluble, chloride-ion content in hardened concrete to 0.15 percent by weight of cement.
- E. Chemical Admixtures: Use admixtures according to manufacturer's written instructions.
  - 1. Retain both subparagraphs below if required; revise to suit Project.
  - 2. Use water-reducing admixture in concrete as required for placement and workability.
  - 3. Use water-reducing and retarding admixture when required by high temperatures, low humidity, or other adverse placement conditions.
- F. Concrete Mixtures: Normal-weight concrete.
  - 1. Compressive Strength (28 Days): 3000 psi for sidewalks and post foundations, 4500 psi for Heavy Duty Concrete.
  - 2. Maximum W/C Ratio at Point of Placement: 0.45.
  - 3. Slump Limit: 4 inches; before the addition of any water-reducing admixtures or high-range water-reducing admixtures at the site. When a water-reducing admixture is used, maximum slump shall be 6 inches and when a high range water reducing admixture is used maximum slump shall be 8 inches.

## 2.8 CONCRETE MIXING

- A. Ready-Mixed Concrete: Measure, batch, and mix concrete materials and concrete according to ASTM C94. Furnish batch certificates for each batch discharged and used in the Work.
  - 1. When air temperature is between 85 and 90 deg F, reduce mixing and delivery time from 1-1/2 hours to 75 minutes; when air temperature is above 90 deg F, reduce mixing and delivery time to 60 minutes.
- B. Project-Site Mixing: Measure, batch, and mix concrete materials and concrete according to ASTM C94. Mix concrete materials in appropriate drum-type batch machine mixer.
  - 1. For concrete batches of 1 cu. yd. or smaller, continue mixing at least 1-1/2 minutes, but not more than 5 minutes after ingredients are in mixer, before any part of batch is released.

2. For concrete batches larger than 1 cu. yd., increase mixing time by 15 seconds for each additional 1 cu. yd.
3. Provide batch ticket for each batch discharged and used in the Work, indicating Project identification name and number, date, mixture type, mixing time, quantity, and amount of water added.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine exposed subgrades and subbase surfaces for compliance with requirements for dimensional, grading, and elevation tolerances.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Remove loose material from compacted subbase surface immediately before placing concrete.

### 3.3 EDGE FORMS AND SCREED CONSTRUCTION

- A. Set, brace, and secure edge forms, bulkheads, and intermediate screed guides to required lines, grades, and elevations. Install forms to allow continuous progress of work and so forms can remain in place at least 24 hours after concrete placement.
- B. Clean forms after each use and coat with form-release agent to ensure separation from concrete without damage.

### 3.4 STEEL REINFORCEMENT INSTALLATION

- A. General: Comply with CRSI's "Manual of Standard Practice" for fabricating, placing, and supporting reinforcement.
- B. Clean reinforcement of loose rust and mill scale, earth, ice, or other bond-reducing materials.
- C. Arrange, space, and securely tie bars and bar supports to hold reinforcement in position during concrete placement. Maintain minimum cover to reinforcement.
- D. Install welded-wire reinforcement in lengths as long as practicable. Lap adjoining pieces at least one full mesh, and lace splices with wire. Offset laps of adjoining widths to prevent continuous laps in either direction.
- E. Epoxy-Coated Reinforcement: Use epoxy-coated steel wire ties to fasten epoxy-coated reinforcement. Repair cut and damaged epoxy coatings with epoxy repair coating according to ASTM D3963.

- F. Construction Joints: Set construction joints at side and end terminations of paving and at locations where paving operations are stopped for more than one-half hour unless paving terminates at isolation joints.
1. Continue steel reinforcement across construction joints unless otherwise indicated. Do not continue reinforcement through sides of paving strips unless otherwise indicated.
  2. Provide tie bars at sides of paving strips where indicated.
  3. Butt Joints: Use bonding agent at joint locations where fresh concrete is placed against hardened or partially hardened concrete surfaces.
  4. Keyed Joints: Provide preformed keyway-section forms or bulkhead forms with keys unless otherwise indicated. Embed keys at least 1-1/2 inches into concrete.
  5. Doweled Joints: Install dowel bars and support assemblies at joints where indicated. Lubricate or coat with asphalt one-half of dowel length to prevent concrete bonding to one side of joint.
- G. Isolation Joints: Form isolation joints of preformed joint-filler strips abutting concrete curbs, catch basins, manholes, inlets, structures, other fixed objects, and where indicated.
1. Locate expansion joints at intervals of 50 feet unless otherwise indicated.
  2. Extend joint fillers full width and depth of joint.
  3. Terminate joint filler not less than 1/2 inch or more than 1 inch below finished surface if joint sealant is indicated.
  4. Place top of joint filler flush with finished concrete surface if joint sealant is not indicated.
  5. Furnish joint fillers in one-piece lengths. Where more than one length is required, lace or clip joint-filler sections together.
  6. During concrete placement, protect top edge of joint filler with metal, plastic, or other temporary preformed cap. Remove protective cap after concrete has been placed on both sides of joint.
- H. Contraction Joints: Form weakened-plane contraction joints, sectioning concrete into areas as indicated. Construct contraction joints for a depth equal to at least one-fourth of the concrete thickness, as follows, to match jointing of existing adjacent concrete paving:
1. Grooved Joints: Form contraction joints after initial floating by grooving and finishing each edge of joint with grooving tool to a 1/4-inch radius. Repeat grooving of contraction joints after applying surface finishes. Eliminate grooving-tool marks on concrete surfaces.
    - a. Tolerance: Ensure that grooved joints are within 3 inches either way from centers of dowels.
  2. Sawed Joints: Form contraction joints with power saws equipped with early entry, shatterproof abrasive or diamond-rimmed blades. Cut 1/8-inch-wide joints into concrete when cutting action will not tear, abrade, or otherwise damage surface and before developing random contraction cracks.
    - a. Tolerance: Ensure that sawed joints are within [3 inches] either way from centers of dowels.

3. Doweled Contraction Joints: Install dowel bars and support assemblies at joints where indicated. Lubricate or coat with asphalt one-half of dowel length to prevent concrete bonding to one side of joint.
- I. Edging: After initial floating, tool edges of paving, gutters, curbs, and joints in concrete with an edging tool to a 1/4-inch radius. Repeat tooling of edges after applying surface finishes. Eliminate edging-tool marks on concrete surfaces.

### 3.5 CONCRETE PLACEMENT

- A. Before placing concrete, inspect and complete formwork installation, steel reinforcement, and items to be embedded or cast-in.
- B. Remove snow, ice, or frost from subbase surface and steel reinforcement before placing concrete. Do not place concrete on frozen surfaces.
- C. Moisten subbase to provide a uniform dampened condition at time concrete is placed. Do not place concrete around manholes or other structures until they are at required finish elevation and alignment.
- D. Comply with ACI 301 requirements for measuring, mixing, transporting, and placing concrete.
- E. Do not add water to concrete during delivery or at Project site unless specifically noted in approved mix design and on batch ticket. Do not add water to fresh concrete after testing.
- F. Deposit and spread concrete in a continuous operation between transverse joints. Do not push or drag concrete into place or use vibrators to move concrete into place.
- G. Consolidate concrete according to ACI 301 by mechanical vibrating equipment supplemented by hand spading, rodding, or tamping.
  1. Consolidate concrete along face of forms and adjacent to transverse joints with an internal vibrator. Keep vibrator away from joint assemblies, reinforcement, or side forms. Use only square-faced shovels for hand spreading and consolidation. Consolidate with care to prevent dislocating reinforcement, dowels and joint devices.
- H. Screed paving surface with a straightedge and strike off.
- I. Commence initial floating using bull floats or darbies to impart an open-textured and uniform surface plane before excess moisture or bleedwater appears on the surface. Do not further disturb concrete surfaces before beginning finishing operations or spreading surface treatments.
- J. Curbs and Gutters: Use design mixture for automatic machine placement. Produce curbs and gutters to required cross section, lines, grades, finish, and jointing.
- K. Slip-Form Paving: Use design mixture for automatic machine placement. Produce paving to required thickness, lines, grades, finish, and jointing.
  1. Compact subbase and prepare subgrade of sufficient width to prevent displacement of slip-form paving machine during operations.

### 3.6 Float finishing:

- A. General: Do not add water to concrete surfaces during finishing operations.
- B. Float Finish: Begin the second floating operation when bleedwater sheen has disappeared and concrete surface has stiffened sufficiently to permit operations. Float surface with power-driven floats or by hand floating if area is small or inaccessible to power units. Finish surfaces to true planes. Cut down high spots and fill low spots. Refloat surface immediately to uniform granular texture.
  - 1. Medium-to-Coarse-Textured Broom Finish: Provide a coarse finish by striating float-finished concrete surface 1/16 to 1/8 inch deep with a stiff-bristled broom, perpendicular to line of traffic.

### 3.7 CONCRETE PROTECTION AND CURING

- A. General: Protect freshly placed concrete from premature drying and excessive cold or hot temperatures.
- B. Comply with NYS DOT 502 for cold-weather protection.
- C. Evaporation Retarder: Apply evaporation retarder to concrete surfaces if hot, dry, or windy conditions cause moisture loss approaching 0.2 lb/sq. ft. x h before and during finishing operations. Apply according to manufacturer's written instructions after placing, screeding, and bull floating or darbying concrete but before float finishing.
- D. Begin curing after finishing concrete but not before free water has disappeared from concrete surface.
- E. Curing Methods: Cure concrete by moisture-retaining-cover curing compound as follows:
  - 1. Moisture-Retaining-Cover Curing: Cover concrete surfaces with moisture-retaining cover, placed in widest practicable width, with sides and ends lapped at least 12 inches, and sealed by waterproof tape or adhesive. Immediately repair any holes or tears occurring during installation or curing period, using cover material and waterproof tape.
  - 2. Curing Compound: Apply uniformly in continuous operation by power spray or roller according to manufacturer's written instructions. Recoat areas subjected to heavy rainfall within three hours after initial application. Maintain continuity of coating, and repair damage during curing period.

### 3.8 PAVING TOLERANCES

- A. Comply with tolerances in ACI 117 and as follows:
  - 1. Elevation: 1/4 inch.
  - 2. Thickness: Plus 3/8 inch, minus 1/4 inch.
  - 3. Surface: Gap below 10-feet-long; unleveled straightedge not to exceed 1/2 inch.
  - 4. Alignment of Tie-Bar End Relative to Line Perpendicular to Paving Edge: 1/2 inch per 12 inches of tie bar.
  - 5. Lateral Alignment and Spacing of Dowels: 1 inch.

6. Vertical Alignment of Dowels: 1/4 inch.
7. Alignment of Dowel-Bar End Relative to Line Perpendicular to Paving Edge: 1/4 inch per 12 inches of dowel.
8. Joint Spacing: 3 inches.
9. Contraction Joint Depth: Plus 1/4 inch, no minus.
10. Joint Width: Plus 1/8 inch, no minus.

### 3.9 FIELD QUALITY CONTROL

- A. Testing Services: Testing and inspecting of composite samples of fresh concrete obtained according to ASTM C172 shall be performed according to the following requirements:
  1. Testing Frequency: Obtain at least one composite sample for each 5000 sq. ft. or fraction thereof of each concrete mixture placed each day.
    - a. When frequency of testing will provide fewer than five compressive-strength tests for each concrete mixture, testing shall be conducted from at least five randomly selected batches or from each batch if fewer than five are used.
  2. Slump: ASTM C143; one test at point of placement for each composite sample, but not less than one test for each day's pour of each concrete mixture. Perform additional tests when concrete consistency appears to change.
  3. Air Content: ASTM C231, pressure method at point of placement; one test for each composite sample, but not less than one test for each day's pour of each concrete mixture.
  4. Concrete Temperature: ASTM C1064; one test hourly when air temperature is 40 deg F and below and when it is 80 deg F and above, and one test for each composite sample.
  5. Compression Test Specimens: ASTM C31; cast and laboratory cure one set of three standard cylinder specimens for each composite sample.
  6. Compressive-Strength Tests: ASTM C39; test one specimen at seven days and two specimens at 28 days.
    - a. A compressive-strength test shall be the average compressive strength from two specimens obtained from same composite sample and tested at 28 days.
- B. Strength of each concrete mixture will be satisfactory if average of any three consecutive compressive-strength tests equals or exceeds specified compressive strength and no compressive-strength test value falls below specified compressive strength by more than 500 psi.
- C. Test results shall be reported in writing to Director's Representative, concrete manufacturer, and Contractor within 48 hours of testing. Reports of compressive-strength tests shall contain Project identification name and number, date of concrete placement, name of concrete testing and inspecting agency, location of concrete batch in Work, design compressive strength at 28 days, concrete mixture proportions and materials, compressive breaking strength, and type of break for both 7- and 28-day tests.
- D. Nondestructive Testing: Impact hammer, sonoscope, or other nondestructive device may be permitted by Director's Representative but will not be used as sole basis for approval or rejection of concrete.

- E. Additional Tests: Testing and inspecting agency shall make additional tests of concrete when test results indicate that slump, air entrainment, compressive strengths, or other requirements have not been met, as directed by Director's Representative.
- F. Concrete paving will be considered defective if it does not pass tests and inspections.
- G. Additional testing and inspecting, at Contractor's expense, will be performed to determine compliance of replaced or additional work with specified requirements.
- H. Prepare test and inspection reports.

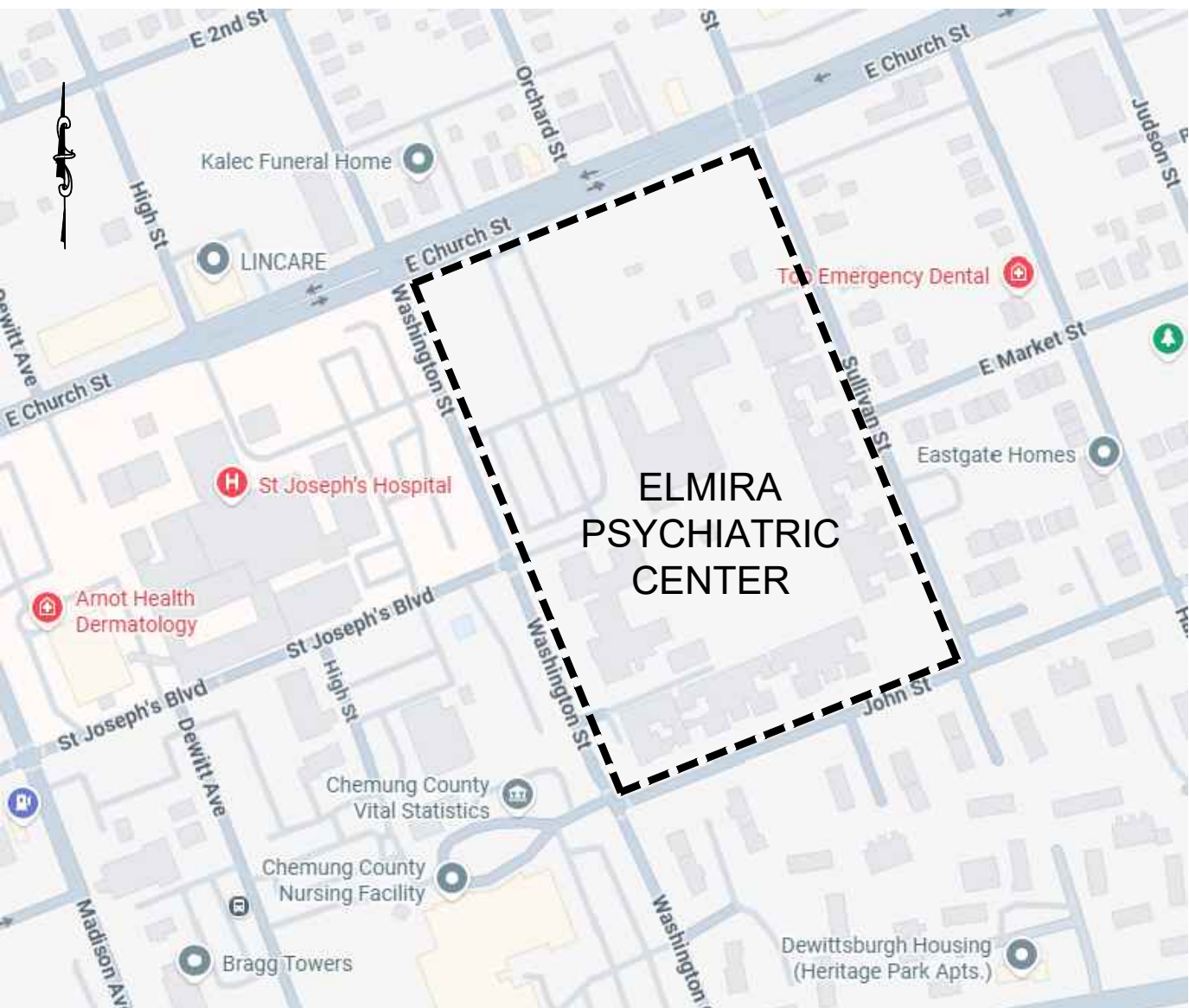
### 3.10 REPAIR AND PROTECTION

- A. Remove and replace concrete paving that is broken, damaged, or defective or that does not comply with requirements in this Section. Remove work in complete sections from joint to joint unless otherwise approved by Director's Representative.
- B. Drill test cores, where directed by Director's Representative, when necessary to determine magnitude of cracks or defective areas. Fill drilled core holes in satisfactory paving areas with Portland cement concrete bonded to paving with epoxy adhesive.
- C. Protect concrete paving from damage. Exclude traffic from paving for at least 14 days after placement. When construction traffic is permitted, maintain paving as clean as possible by removing surface stains and spillage of materials as they occur.
- D. Maintain concrete paving free of stains, discoloration, dirt, and other foreign material. Sweep paving not more than two days before date scheduled for Substantial Completion inspections.

END OF SECTION 321313

# REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

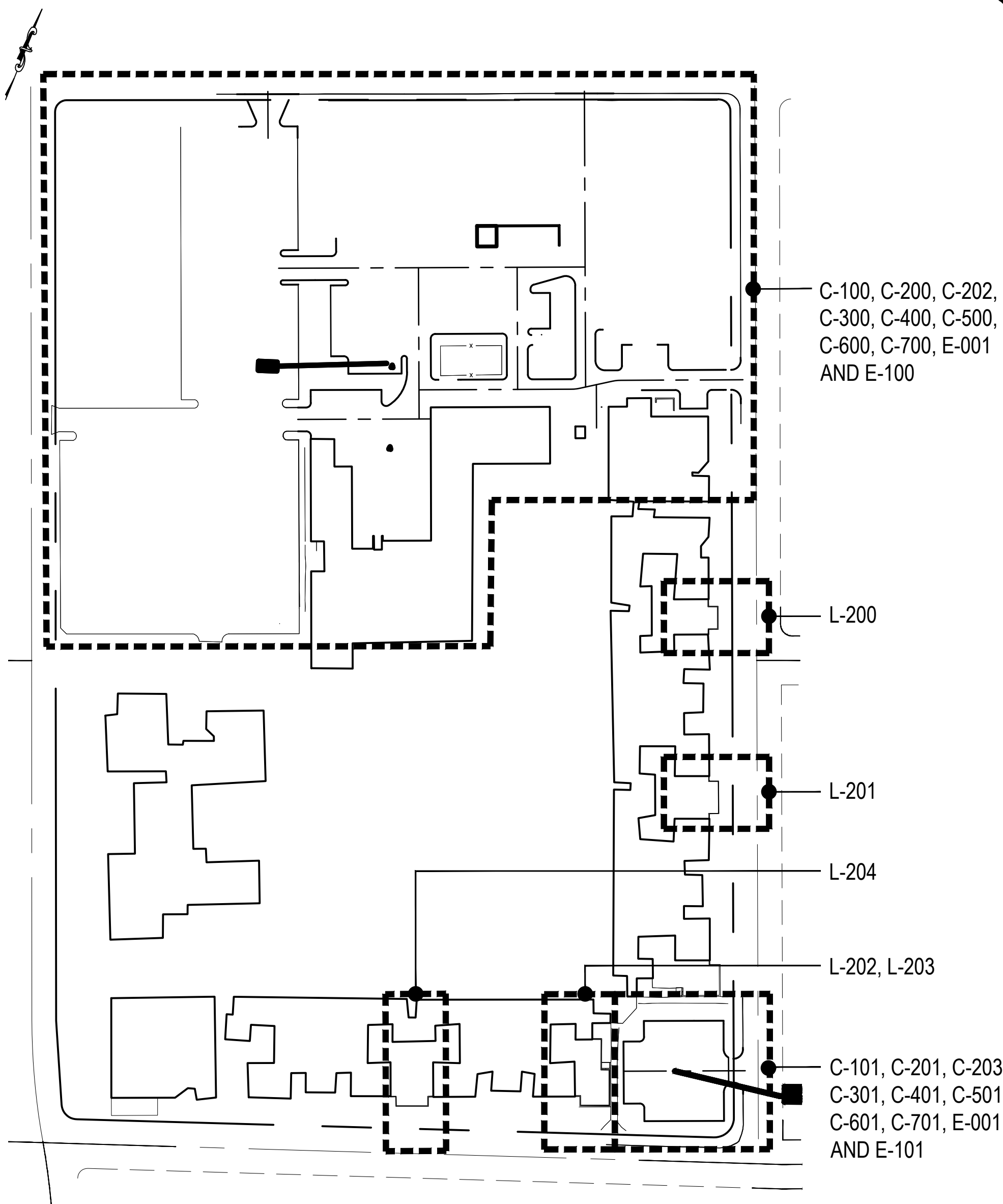
## ELMIRA PSYCHIATRIC CENTER 100 WASHINGTON STREET, ELMIRA, NEW YORK O.G.S. PROJECT NO. 47640-C



SITE LOCATION

### DRAWING LIST

|    |       |                                                                            |
|----|-------|----------------------------------------------------------------------------|
| 1  | C-000 | COVER SHEET                                                                |
| 2  | C-001 | NOTES AND LEGEND                                                           |
| 3  | C-100 | PAVEMENT REPLACEMENT (NORTH) EXISTING CONDITIONS                           |
| 4  | C-101 | PAVEMENT REPLACEMENT (SOUTH) EXISTING CONDITIONS                           |
| 5  | C-200 | PAVEMENT REPLACEMENT (NORTH) DEMOLITION PLAN                               |
| 6  | C-201 | PAVEMENT REPLACEMENT (SOUTH) DEMOLITION PLAN                               |
| 7  | C-202 | PAVEMENT REPLACEMENT (NORTH) UTILITIES REMOVAL PLAN                        |
| 8  | C-203 | PAVEMENT REPLACEMENT (SOUTH) UTILITIES REMOVAL PLAN                        |
| 9  | C-300 | PAVEMENT REPLACEMENT (NORTH) EROSION AND SEDIMENT CONTROL PLAN             |
| 10 | C-301 | PAVEMENT REPLACEMENT (SOUTH) EROSION AND SEDIMENT CONTROL PLAN             |
| 11 | C-400 | PAVEMENT REPLACEMENT (NORTH) LAYOUT AND MATERIALS PLAN                     |
| 12 | C-401 | PAVEMENT REPLACEMENT (SOUTH) LAYOUT AND MATERIALS PLAN                     |
| 13 | C-500 | PAVEMENT REPLACEMENT (NORTH) GRADING PLAN                                  |
| 14 | C-501 | PAVEMENT REPLACEMENT (SOUTH) GRADING PLAN                                  |
| 15 | C-600 | PAVEMENT REPLACEMENT (NORTH) PLANTING PLAN                                 |
| 16 | C-601 | PAVEMENT REPLACEMENT (SOUTH) PLANTING PLAN                                 |
| 17 | C-700 | PAVEMENT REPLACEMENT (NORTH) DRAINAGE PLAN                                 |
| 18 | C-701 | PAVEMENT REPLACEMENT (SOUTH) DRAINAGE PLAN                                 |
| 19 | C-800 | SITE DETAILS                                                               |
| 20 | C-801 | SITE DETAILS II                                                            |
| 21 | C-802 | EROSION AND SEDIMENT CONTROL DETAILS                                       |
| 22 | C-803 | STORMWATER MANAGEMENT DETAILS                                              |
| 23 | C-804 | STORMWATER MANAGEMENT DETAILS                                              |
| 24 | C-805 | STRUCTURAL DETAILS                                                         |
| 25 | L-200 | FENCE REPLACEMENT (SITE 1) DEMOLITION, LAYOUT, MATERIALS, AND GRADING PLAN |
| 26 | L-201 | FENCE REPLACEMENT (SITE 2) DEMOLITION, LAYOUT, MATERIALS, AND GRADING PLAN |
| 27 | L-202 | FENCE REPLACEMENT (SITE 3) DEMOLITION AND LAYOUT PLAN                      |
| 28 | L-203 | FENCE REPLACEMENT (SITE 3) MATERIALS AND GRADING PLAN                      |
| 29 | L-204 | FENCE REPLACEMENT (SITE 4) DEMOLITION, LAYOUT, MATERIALS, AND GRADING PLAN |
| 30 | L-500 | LANDSCAPE DETAILS                                                          |
| 31 | E-001 | EV CONDUIT PLAN                                                            |
| 32 | E-100 | ELECTRICAL AND LIGHTING PLAN (NORTH)                                       |
| 33 | E-101 | ELECTRICAL AND LIGHTING PLAN (SOUTH)                                       |
| 34 | E-200 | LIGHTING DETAILS                                                           |



KEY PLAN

0 100' 200'  
Scale: 1" = 100'-0"

DRAWING NUMBER:

C-000

SHEET 1 of 34



**Office of  
Mental Health**



**Office of  
General Services**

DESIGN & CONSTRUCTION

| CIVIL SYMBOLS                | LANDSCAPE SYMBOLS | DEMOLITION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | TREE & SOIL PROTECTION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | GRADING NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                           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| EXISTING                     | DEMOLITION        | <div><div>1. CONSTRUCTION FENCING TO BE INSTALLED AS NECESSARY TO PROTECT PEDESTRIANS, CONTROL VEHICULAR TRAFFIC AND PROTECT ON-SITE CONSTRUCTION MATERIALS.</div><div>2. PROVIDE SEDIMENTATION CONTROLS AT ALL EXISTING CATCH BASINS AFFECTED BY NEW CONSTRUCTION. SEE CIVIL EROSION AND SEDIMENT CONTROL PLANS AND SPECS.</div><div>3. SEE CIVIL PLANS FOR UTILITY REMOVALS.</div><div>4. SEE ELECTRICAL REMOVAL PLAN FOR SITE ELECTRICAL REMOVALS.</div><div>5. PROTECT ALL SURFACE AND SUBSURFACE UTILITIES TO REMAIN DURING DEMOLITION WORK.</div><div>6. ALL REMOVED/DEMOLISHED MATERIAL INCLUDING FENCES SHALL BECOME CONTRACTOR'S PROPERTY AND REMOVED FROM SITE, UNLESS NOTED OTHERWISE. DIRECTOR'S REPRESENTATIVE TO RESERVE RIGHT OF FIRST REFUSAL ON ALL DEMOLISHED MATERIAL.</div><div>7. ALL TREE STUMPS ARE TO BE REMOVED COMPLETELY, ALONG WITH ALL ROOTS 6" AND LARGER.</div><div>8. PROTECT EXISTING TREES TO REMAIN. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES.</div><div>9. PROTECT BENCHMARKS.</div><div>10. STRIP ALL EXISTING ORGANIC SOIL FROM ALL AREAS WITHIN THE GRADING LIMIT LINE WHERE EXCAVATION OR FILL IS REQUIRED. UNCONTAMINATED ORGANIC SOILS FROM LAWN AND LANDSCAPED AREAS WILL BE ACCEPTABLE FOR RE-USE AS TOPSOIL. STOCKPILE ALL STRIPPED ORGANIC SOIL AS DIRECTED BY THE DIRECTOR'S REPRESENTATIVE. DO NOT STOCKPILE NON-ORGANIC MINERAL SOIL OR OTHER CONTAMINATED MATERIALS WITH TOPSOIL.</div><div>11. CONTRACTOR TO PROVIDE CONSTRUCTION FENCE TO PROTECT THE PUBLIC AND THE SITE IN ACCORDANCE WITH THE SPECIFICATIONS. FENCING OF PROTECTED AREAS TO BE COORDINATED WITH OWNER AND REFLECT AREAS OF ACTIVE CONSTRUCTION.</div></div> <div><div>LAYOUT</div><div><div>CONTROL JOINT</div><div>EXPANSION JOINT</div><div>NORTHING / EASTING COORDINATE</div></div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <div><div>1. UTMOST CARE MUST BE TAKEN TO MINIMIZE DAMAGE TO THE EXISTING TREES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ALL DAMAGED TREES PER SPECIFICATIONS.</div><div>2. DISTURBANCE WITHIN THE TREE AND SOIL PROTECTION AREAS MUST BE KEPT TO A MINIMUM. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR STORE ANY MATERIALS, EQUIPMENT OR VEHICLES WITHIN AREAS PROTECTED BY THE TREE AND SOIL PROTECTION FENCE.</div><div>3. PNEUMATIC/AIRSPADE EXCAVATION REQUIRED FOR ALL EXCAVATION/TRENCHING WITHIN 10 FEET OF CANOPY OF EXISTING TREE. PROTECT ROOT SYSTEMS OF EXISTING TREES TO REMAIN.</div><div>4. IN AREAS WHERE ROOTS OF EXISTING TREES TO REMAIN NEED TO BE REMOVED IN ORDER TO INSTALL PAVEMENTS OR UTILITIES, ROOTS TO BE PRUNED BY A QUALIFIED ARBORIST. ARBORIST ALSO TO THIN/REDUCE TREE CANOPY IN PROPORTION TO EXTENT OF ROOT PRUNING.</div><div>5. WHERE SITE GRADING NECESSITATES FIELD WORK WITHIN THE TREE AND SOIL PROTECTION ZONE AND CANNOT BE AVOIDED, CONTRACTOR SHALL NOTIFY DIRECTOR'S REPRESENTATIVE AND TAKE PROTECTIVE MEASURES IN ACCORDANCE WITH WRITTEN SPECIFICATIONS. PROTECTION MEASURES INCLUDE, BUT ARE NOT LIMITED TO: DRAINAGE FILL AND FILTER FABRIC, SHORING, HAND DIGGING AND ROOT PRUNING.</div><div>6. MOWING: CONTRACTOR TO BE RESPONSIBLE FOR MOWING &amp; LAWN MAINTENANCE FOR ANY EXISTING TURF TO REMAIN WITHIN CONTRACT LIMIT LINE.</div></div> | <div><div>1. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.</div><div>2. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.</div><div>3. GRADING AROUND EXISTING TREES TO BE MINIMIZED. SEE TREE PROTECTION DETAILS.</div><div>4. MINIMIZE IMPACT TO EXISTING, REMAINING LANDSCAPE WHILE EXCAVATING. GREAT CARE IS TO BE TAKEN TO AVOID DISTURBING ROOTS OF EXISTING TREES. HAND EXCAVATION WILL BE REQUIRED WHERE EXISTING TREE ROOTS ARE PRESENT.</div><div>5. ALL EXISTING UTILITY COVERS AND GRATES WITHIN THE AREA OF DISTURBANCE ARE TO BE ADJUSTED TO MEET PROPOSED GRADES.</div><div>6. MATCH EXISTING GRADE AT ALL EDGES WHERE PROJECT WORK MEETS EXISTING SITE.</div><div>7. SEE ELECTRICAL DRAWINGS FOR PROPOSED UTILITIES.</div><div>8. IF GRADING INTERFERES WITH EXISTING SHRUB PLANTING, LIFT AND REPLANT SHRUB WHEN GRADING IS COMPLETE.</div><div>9. ALL WALKWAYS TO HAVE A MAXIMUM 1.99% CROSS SLOPE.</div><div>10. ALL ADA ACCESSIBLE ROUTES INDICATED ON PLANS TO HAVE A MAXIMUM 4.99% RUNNING SLOPE AS REQUIRED BY CODE.</div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                |                     |                              |    |    |    |                     |    |    |    |                           |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|                              |                   | SITE PREPARATION & RESTORATION NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                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|                              |                   | <div><div>1. CLEAR AND GRUB EXISTING VEGETATION, REGARDLESS OF SIZE, NECESSARY TO INSTALL THE WORK OF THIS CONTRACT. REMOVE ALL ABOVE GROUND PORTIONS OF PLANTS. GRUB ALL BELOW GROUND PORTIONS OF PLANTS TO A MINIMUM DEPTH OF 6" BELOW FINISH GRADE IN LAWN AREAS. COMPLETELY REMOVE ALL BELOW GROUND PORTIONS OF PLANTS IN AREAS TO BE COVERED WITH BUILDINGS AND OTHER STRUCTURES, PAVEMENTS AND PLANTING BEDS. ALL INDIVIDUAL TREES INDICATED FOR REMOVAL ARE TO BE REMOVED IN THEIR ENTIRETY, INCLUDING ALL ABOVE AND BELOW GROUND PORTIONS. PRESERVE AND PROTECT ALL EXISTING VEGETATION NOT INDICATED TO BE REMOVED, AND OTHER VEGETATION OUTSIDE THE CLUGL NOT REQUIRED BY THE WORK OF THIS, AND RELATED CONTRACTS. PROVIDE FENCES, BARRICADES AND OTHER SUITABLE DEVICES TO PREVENT DAMAGE BY VEHICLES. RESTRICT VEHICULAR TRAFFIC TO AREAS OUTSIDE THE DRIP LINE OF TREES. PREVENT COMPACTION OF SOIL WITHIN THE DRIP LINE OF TREES AND SHRUBS. DO NOT DRIVE OR PARK VEHICLES ON LAWNS.</div><div>2. RESTORE TO THEIR ORIGINAL CONDITION ALL EXISTING PHYSICAL FEATURES DAMAGED BY THE UNAUTHORIZED ACT OR OMISSION OF THE CONTRACTOR. ORIGINAL CONDITION SHALL MEAN THE CONDITION IN WHICH THE FEATURE WAS FOUND AT THE START OF THE WORK AND SHALL BE AT THE CONTRACTORS EXPENSE.</div><div>3. FINE GRADE, TOPSOIL, SEED AND MULCH ALL AREAS DISTURBED BY THE WORK OF THIS CONTRACT AND NOT SPECIFIED TO BE COVERED BY BUILDINGS, PAVEMENTS, OR OTHER FINISHED SURFACE. RESTORE ALL EXISTING CONSTRUCTION TO ORIGINAL CONDITION, UNLESS SHOWN OR DIRECTED OTHERWISE.</div><div>4. ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS SHALL BE TEMPORARILY SEEDED WITH QUICK RYE GRASS AND MULCHED WITHIN 14 DAYS OF GRADING COMPLETION TO REDUCE EROSION CONTROL. PROPERTY SHALL BE FINAL GRADED AND SEEDED (HYDROSEED OR SEED WITH STRAW MULCH) AS SOON AS POSSIBLE.</div><div>5. THE ADJACENT AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE RESTORED IN KIND TO THE SATISFACTION OF DIRECTOR'S REPRESENTATIVE.</div><div>6. WHEN RESTORING LAWN AREAS ADJACENT TO NEW CONSTRUCTION, ON-SITE MATERIAL MAY BE USED TO BACKFILL THE AREAS WITHIN FOUR INCHES OF THE NEW FINISHED SURFACE. ON-SITE MATERIAL SHALL BE THOROUGHLY COMPACTED AND FREE OF GRASS CLUMPS, TREE ROOTS, PIECES OF ASPHALT AND OTHER EXTRANEIOUS MATERIALS, AND STONES LARGER THAN 1 INCH IN SIZE.</div><div>7. ALL DISTURBED UNSURFACED AREAS SHALL RECEIVE FOUR INCHES OF TOPSOIL, SEED AND MULCH AND SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. TOPSOIL SHALL MEET OGS SPECIFICATION 329102 IN REGARDS TO MATERIAL TYPE, ACIDITY, ETC.</div><div>8. WHEN ADJACENT ASPHALT, CONCRETE OR PAVING STONE AREAS ARE DISTURBED AS PART OF THE CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO REPLACE THE DAMAGED OR EXCAVATED AREA. THE PERIMETER OF THE DISTURBED AREA SHALL BE SAW CUT FULL DEPTH, SO THAT ALL LINES ARE STRAIGHT AND TRUE. PAVING STONES SHALL BE REPLACED IN WHOLE UNITS ONLY, AND ALL REPLACEMENT PAVING STONES ARE TO MATCH THE EXISTING ONES IN SIZE, SHAPE AND COLOR. ASPHALT SHALL BE COMPACTED TO A SMOOTH FINISH AND SHALL BE FLUSH WITH THE EXISTING ADJACENT AREA THAT IS TO REMAIN.</div><div>9. <u>LAWN SEEDING NOTES:</u><br/>THE FOLLOWING SEED MIXTURE SHALL BE USED FOR TEMPORARY SEEDING APPLICATIONS:<table><tr><th>NAME AND VARIETY</th><th>PERCENT BY WEIGHT</th><th>PERCENT PURITY</th><th>PERCENT GERMINATION</th></tr><tr><td>PENNFINE PERENNIAL RYE GRASS</td><td>40</td><td>85</td><td>85</td></tr><tr><td>PENNLAWN RED FESCUE</td><td>40</td><td>97</td><td>80</td></tr><tr><td>COMMON KENTUCKY BLUEGRASS</td><td>20</td><td>85</td><td>80</td></tr></table>SEED SHALL BE APPLIED AT THE RATE OF 85 POUNDS PURE LIVE SEED PER ACRE.<br/><br/>PRIOR TO SEEDING, THE AREA SHALL BE FERTILIZED USING 14 POUNDS OF 5-10-10 FERTILIZER PER 1,000 SQUARE FEET (OR AS SPECIFIED BY THE MANUFACTURER) WORKED LIGHTLY INTO THE SOIL.<br/><br/>IMMEDIATELY AFTER SEEDING, MULCH SHALL BE EVENLY APPLIED AT THE RATE OF 2 TONS PER ACRE, WITH MULCH ANCHORAGE APPLIED AT THE MANUFACTURER'S RECOMMENDED RATE.</div><div>10. TEMPORARY SEEDING MAY BE NEEDED TO PROVIDE PROTECTIVE COVER DURING A TEMPORARY SHUTDOWN OF CONSTRUCTION, SUCH AS A WINTER WORK SHUTDOWN, WHILE WAITING FOR OPTIMAL PLANTING TIME AS SPECIFIED IN SECTION 02331, OR FOR STABILIZATION OF TOPSOIL HELD IN STOCKPILES FOR LONGER THAN 14 DAYS. IN SPRING, SUMMER, OR EARLY FALL APPLY RYEGRASS (ANNUAL OR PERENNIAL) AT A RATE OF 1 LB. / 1000 SQ. FT. IN LATE FALL OR EARLY SPRING APPLY CERTIFIED 'AROOSTOCK' RYE AT 2.5 LBS. / 1000 SQ. FT. APPLY HAY OR STRAW AT 2 BALES / 1000 SQ. FT. OR WOOD FIBER HYDROMULCH AT MANUFACTURER'S RECOMMENDED RATE. HAY OR STRAW SHOULD BE ANCHORED.</div><div>11. DO NOT WAIT UNTIL ALL SLOPES ARE AT FINAL GRADE BEFORE SEEDING. STABILIZE ALL EXCAVATED SLOPES WITH TEMPORARY OR PERMANENT SEDIMENT AND EROSION CONTROL MEASURES AS SOON AS ROUGH GRADING IS COMPLETE. LEAVE SLOPE SURFACE SLIGHTLY ROUGHENED AND APPLY SEED AND MULCH, WITH OR WITHOUT EROSION CONTROL BLANKETS. AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.</div><div>12. STOCKPILE AND STABILIZE EXCAVATED TOPSOIL. INSTALL TEMPORARY STORM INLET TRAPS AT EACH NEW BASIN.</div></div> | NAME AND VARIETY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | PERCENT BY WEIGHT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | PERCENT PURITY | PERCENT GERMINATION | PENNFINE PERENNIAL RYE GRASS | 40 | 85 | 85 | PENNLAWN RED FESCUE | 40 | 97 | 80 | COMMON KENTUCKY BLUEGRASS | 20 | 85 | 80 | <div><div>1. UPDATE NOTES TO PROJECT CONDITIONS. BE SURE TO EDIT AND REVISE NOTES AS NEEDED.</div><div>2. CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.</div><div>3. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.</div><div>4. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT ANY DISCREPANCIES TO DIRECTOR'S REPRESENTATIVE BEFORE PROCEEDING.</div><div>5. DO NOT SCALE FROM MEASURING DRAWINGS.</div><div>6. WALKS, DRIVES AND WALLS TO BE STAKED OUT IN THE FIELD BY A LICENSED SURVEYOR.</div><div>7. LAYOUT DIMENSIONS AND RADII TO WALLS, CURBS, AND OTHER FEATURES ARE TO EXPOSED FACES UNLESS OTHERWISE NOTED.</div><div>8. ALL PAVEMENT RADII ARE 5' UNLESS OTHERWISE NOTED ON PLAN.</div><div>9. INSTALL SIGNS PER MUTCD Sec. 2a.18. CONTRACTOR TO VERIFY SIGN LOCATIONS WITH DIRECTOR'S REPRESENTATIVE BEFORE INSTALLATION.</div></div> | <div><div>1. ALL PLANTING AREAS TO BE EXCAVATED OR PREPARED TO MINIMUM DEPTH AS SHOWN IN THE DETAILS AND SOILS PLAN.</div><div>2. ALL DISTURBED AREAS NOT RECEIVING PLANTINGS SHALL BE SEEDED.</div><div>3. ALL TREES AND PLANTS TO COMPLY WITH APPLICABLE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".</div><div>4. ALL SHRUBS SHALL BE RANDOMLY PLACED UNLESS OTHERWISE NOTED. SHRUB PLACEMENT SHALL BE APPROVED BY DIRECTOR'S REPRESENTATIVE PRIOR TO PLANT INSTALLATION.</div><div>5. NO PLANTS ARE TO BE PLACED WITHIN 24" OF ANY BUILDING FACE.</div><div>6. TREES IN LAWN TO RECEIVE 5' DIAMETER MULCH RINGS WITH TRENCH EDGES.</div><div>7. EXCAVATED SOILS MUST BE STOCKPILED AND TESTED PER 6 NYCRR PART 375 PRIOR TO DISPOSAL OR REUSE. EXCAVATED MATERIALS INCLUDING URBAN FILL MAY BE RELOCATED ON-SITE CONTINGENT UPON APPROPRIATE ENGINEERING CONTROLS SUCH AS A COVER SYSTEM. URBAN FILL AND EXCAVATED MATERIALS MAY ALSO BE DISPOSED OF AT AN APPROVED LANDFILL IN ACCORDANCE WITH 6 NYCRR PART 360, CONTINGENT UPON WASTE CHARACTERIZATION SAMPLING IN ACCORDANCE WITH THE DISPOSAL FACILITY REQUIREMENTS, AS NON-HAZARDOUS WASTE, UNDER A BILL OF LADING OR OTHER APPROPRIATE DOCUMENTATION.</div><div>8. NO CONTAMINATED RECLAIMED SOILS MAY BE USED WITHIN THE TOP 12" OF FINISH GRADE OF PLANTED AREAS.</div><div>9. REFER TO SPECIFICATIONS FOR PLANTING SOIL COMPOSITION.</div><div>10. THIS PLAN DEPICTS THE SOIL PROFILE FOR THE TOP 12" OF SOIL ONLY, TO DESCRIBE THE COMPOSITION OF THE REQUIRED ENVIRONMENTAL COVER. BELOW THE 12" LINE, THE QUANTITY OF FILL MATERIAL IS DICTATED BY THE GRADING PLAN AND IS COMPRISED OF SUITABLE FILL.</div></div> |
| NAME AND VARIETY             | PERCENT BY WEIGHT | PERCENT PURITY                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      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| PENNFINE PERENNIAL RYE GRASS | 40                | 85                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  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| PENNLAWN RED FESCUE          | 40                | 97                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  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                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | EROSION CONTROL NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                                   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                                                                                                                                                                          | <div><div>1. SCORING SHOWN IS INTENDED TO MINIMIZE CRACKING AT RADIUS INTERSECTIONS.</div><div>2. WHERE POSSIBLE, RADIUS FLARES SHALL BE INCORPORATED INTO LARGER POURS TO MINIMIZE ACUTE ANGLES.</div><div>3. TYPICAL SCORING IS TO CREATE EQUAL SQUARES WHERE POSSIBLE, I.E. SPACING IS EQUAL TO WIDTH OF WALK.</div><div>4. ALL CONSTRUCTION JOINTS SHALL BE REINFORCED WITH DOWELS PER DETAIL.</div><div>5. INSTALL EXPANSION JOINTS EVERY 34' MAX IN CONCRETE PAVEMENT AND IN AREAS WHERE CONCRETE ABUTS CURBS OR OTHER FIXED OBJECTS.</div><div>6. PRE-POUR MEETING THAT INCLUDES CONTRACTOR AND DIRECTOR'S REPRESENTATIVE TO OCCUR.</div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <div><div>1. PROVIDE ALL SOIL EROSION CONTROLS REQUIRED BY THE CONTRACT AND AS DIRECTED BY THE DIRECTORS REPRESENTATIVE.</div><div>2. COMPLY WITH REGULATIONS OF ALL PUBLIC AGENCIES HAVING JURISDICTION OVER SOIL EROSION CONTROL ON THE SITE.</div><div>3. TAKE NECESSARY MEASURES TO REDUCE THE DISTURBANCE OF VEGETATIVE SOIL COVER TO THE MINIMUM REQUIRED BY THE WORK.</div><div>4. LIMIT ACCESS ON UNSTABILIZED SOIL SURFACES TO THOSE VEHICLES NECESSARY FOR THE WORK. DO NOT PARK EMPLOYEES VEHICLES ON ERODABLE SOIL SURFACES.</div><div>5. STABILIZE AND PROTECT SOIL SURFACES TO PREVENT ADHESION SOIL MATERIALS TO VEHICLES LEAVING THE SITE.</div><div>6. PREVENT TRACKING OF SOIL MATERIALS FROM THE SITE ONTO OTHER AREAS OF FACILITY PROPERTY. PREVENT TRACKING OF SOIL MATERIALS FROM THE SITE ONTO PUBLIC HIGHWAYS.</div><div>7. PROVIDE FILTER FABRIC SILT FENCE AS SHOWN ON THIS DRAWING AND AS DIRECTED BY DIRECTORS REPRESENTATIVE. SILT FENCE MAY CONSIST OF FILTER FABRIC ATTACHED SECURELY TO WOVEN WIRE FENCE OR PREFABRICATED UNITS INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS.</div><div>8. SILT FENCE SHALL BE INSTALLED PRIOR TO DISTURBANCE OF EXISTING SOIL SURFACE AND SHALL BE INSPECTED AND MAINTAINED REGULARLY DURING CONSTRUCTION ACTIVITIES.</div><div>9. THE DIRECTORS REPRESENTATIVE WILL MONITOR THE EFFECTIVENESS OF THE CONTRACTORS SOIL EROSION CONTROL MEASURES DAILY. THE CONTRACTOR WILL IMMEDIATELY UPON NOTIFICATION BY THE DIRECTORS REPRESENTATIVE CORRECT ALL DEFICIENCIES.</div><div>9. PROVIDE AND MAINTAIN TEMPORARY ROADS FOR THE USE OF ALL PERSONS LAWFULLY FREQUENTING THE SITE. TEMPORARY ROADS SHALL ACCESS ALL AREAS OF THE SITE REQUIRING WORK UNDER ALL CONTRACTS. PROVIDE A TEMPORARY ROAD SECTION SUFFICIENT TO CARRY THE HEAVIEST CONSTRUCTION TRAFFIC WHEEL LOADS RESULTING FROM THIS AND ALL OTHER CONTRACTS.</div><div>10. CROWN OR SLOPE THE SURFACE OF TEMPORARY ROADS FOR ADEQUATE DRAINAGE. PROVIDE TEMPORARY DRAINAGE, INCLUDING SWALES, DITCHES, CULVERTS AND PUMPS AS REQUIRED, TO MAINTAIN THE TEMPORARY ROADS AND PREVENT THEM FROM PONDING WATER ON THE ROADS OR ON THE SITE.</div><div>11. CONTINUALLY MAINTAIN TEMPORARY ROADS FOR CONSTRUCTION TRAFFIC USE UNTIL NO LONGER NEEDED. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO: PROVISION OF ADDITIONAL MATERIALS AS REQUIRED AND/OR DIRECTED, GRADING AND COMPACTING TO REMOVE RUTS AND DEPRESSIONS; REMOVAL OF SNOW AND ICE; AND MEASURES TO CONTROL DUST.</div><div>12. PROVIDE TEMPORARY SITE DRAINAGE INCLUDING SWALES, DITCHES, AND PUMPS AS REQUIRED TO MAINTAIN THE SITE IN A TRAFFICABLE CONDITION. DO NOT DISCHARGE WATER INTO AREAS TO BE DEVELOPED UNDER THIS CONTRACT.</div><div>13. PERMANENT ROADS ARE NOT DESIGNED OR INTENDED FOR CONSTRUCTION EQUIPMENT USE.</div></div> |                |                     |                              |    |    |    |                     |    |    |    |                           |    |    |    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
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                                                                                                                                                                          | <div><div>1. HORIZONTAL AND VERTICAL DATUMS ARE REFERENCED TO THE COORDINATE SYSTEM AS NOTED ON SURVEY.</div><div>2. GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.</div><div>3. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.</div><div>4. CONTRACTOR SHALL VERIFY BENCHMARK ELEVATIONS PRIOR TO CONSTRUCTION.</div><div>5. VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT DISCREPANCIES TO DIRECTOR'S REPRESENTATIVE BEFORE PROCEEDING.</div><div>6. DO NOT SCALE BY MEASURING DRAWINGS.</div><div>7. WALKS, DRIVES, CURBS AND PARKING TO BE STAKED OUT IN THE FIELD BY A LICENSED SURVEYOR.</div><div>8. DIMENSIONS TO WALLS, CURBS, AND OTHER FEATURES ARE TO EXPOSED FACES UNLESS OTHERWISE NOTED.</div><div>9. LAYOUT DIMENSIONS AND RADII ARE TO EDGE OF PAVEMENT. ALL PAVEMENT RADII ARE 5'-0" UNLESS OTHERWISE NOTED.</div></div>                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       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CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

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| 1               | 8/21/2026  | ADDENDUM #1    |
|-----------------|------------|----------------|
|                 | 11/28/2025 | FINAL BID DOCS |
| MARK            | DATE       | DESCRIPTION    |
| PROJECT NUMBER: | 47640-C    |                |
| DESIGNED BY:    |            |                |
| DRAWN BY:       |            |                |
| FIELD CHECK:    |            |                |
| APPROVED:       |            |                |

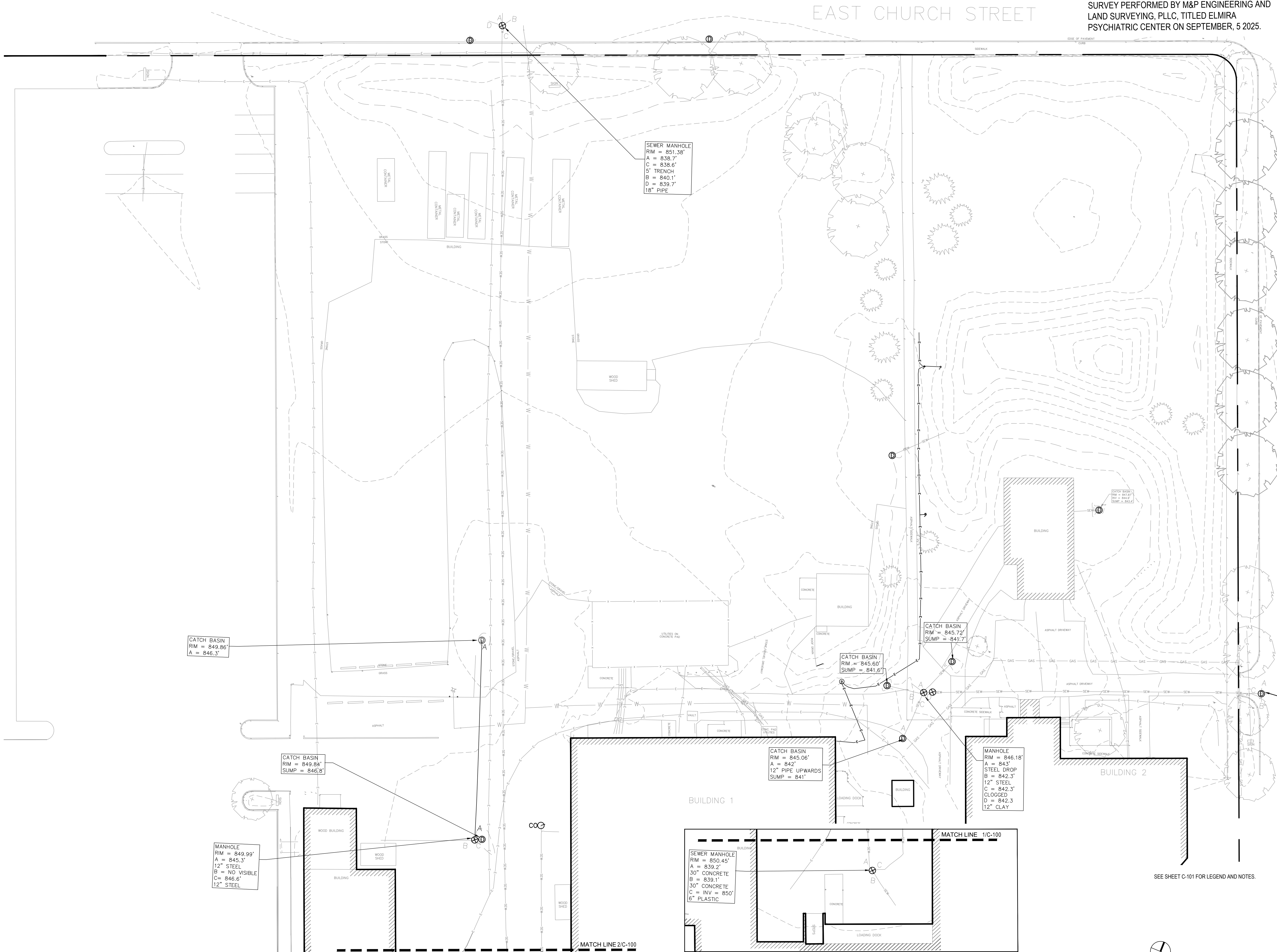
DRAWING TITLE:

NOTES AND LEGEND

DRAWING NUMBER:

C-001

Aug 21, 2026 - 11:58am  
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36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT NORTH EXISTING CONDITIONS  
1"=20'-0"

2 LOADING DOCK EXISTING CONDITIONS  
1"=20'-0"

NORTH  
0 20' 40'  
Scale: 1" = 20'-0"

SEE SHEET C-101 FOR LEGEND AND NOTES.

EAST CHURCH STREET

SURVEY PERFORMED BY M&P ENGINEERING AND  
LAND SURVEYING, PLLC, TITLED ELMIRA  
PSYCHIATRIC CENTER ON SEPTEMBER, 5 2025.

NEW YORK STATE Office of General Services

DESIGN & CONSTRUCTION

CONSULTANT: FISHER ASSOCIATES, P.E., L.S., L.A., D.P.C.

CERTIFICATE OF AUTHORIZATION #: 0229900

FISHER ASSOCIATES

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FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE  
NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS  
AND IS A CLASS "A" MISDEMEANOR.



REGISTRATION EXPIRES:  
09/30/2028

CONTRACT:  
47640-C

TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:  
OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK            | DATE         | DESCRIPTION    |
|-----------------|--------------|----------------|
| 1               | 8/21/2026    | ADDENDUM #1    |
|                 | 11/28/2025   | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C      |                |
| DESIGNED BY:    | W. HOSTETTER |                |
| DRAWN BY:       | W. HOSTETTER |                |
| FIELD CHECK:    | M. O'ROURKE  |                |
| APPROVED:       | J. JONES     |                |

DRAWING TITLE:

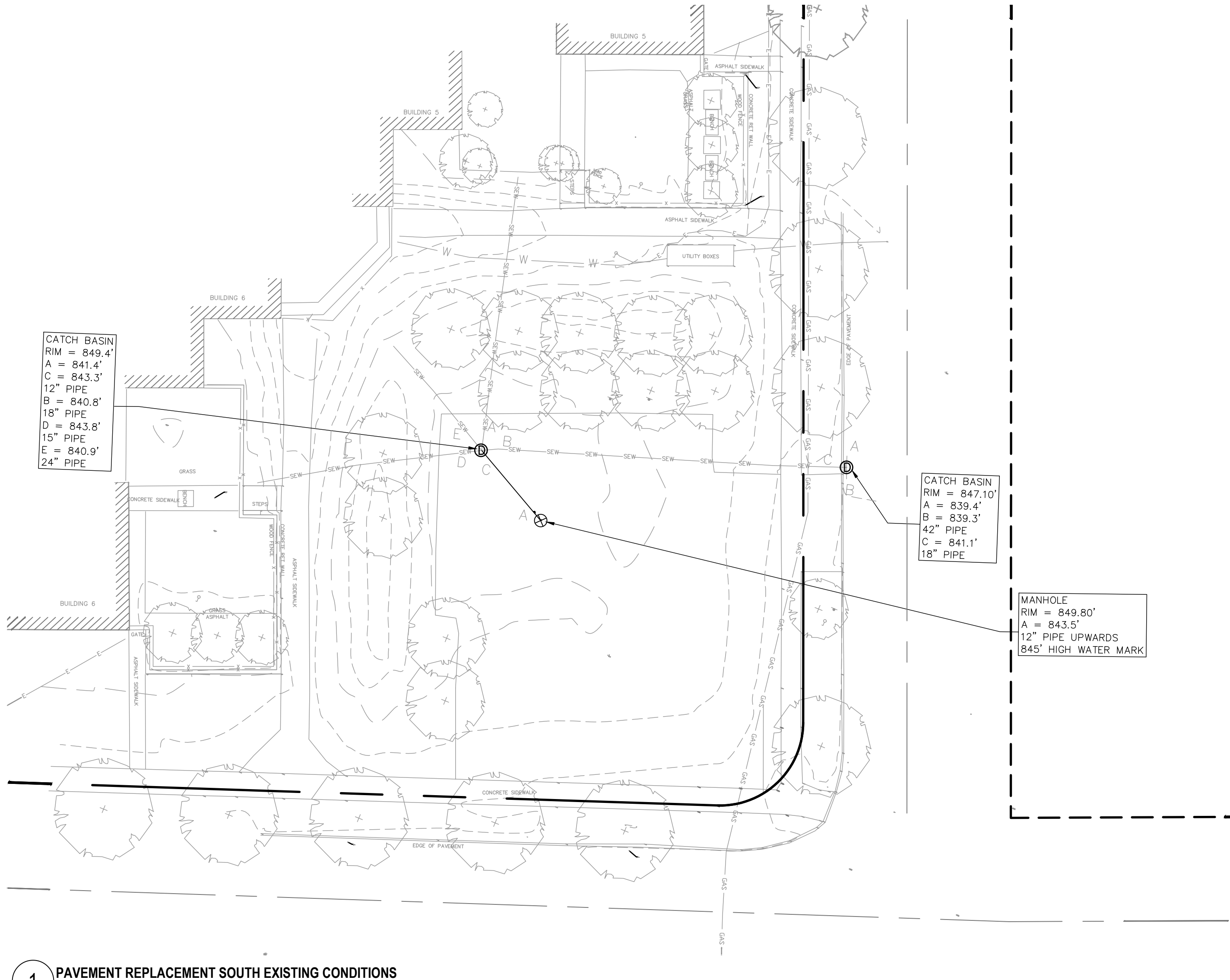
PAVEMENT  
REPLACEMENT(NORTH)  
EXISTING CONDITIONS

DRAWING NUMBER:  
C-100

DRAWING 2

OF 34

Aug 21, 2026 - 11:58am  
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36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT SOUTH EXISTING CONDITIONS  
1"=20'-0"

| EXISTING CONDITIONS LEGEND |                     |
|----------------------------|---------------------|
| KEY                        | MATERIAL            |
|                            | CONCRETE MONUMENT   |
|                            | IRON PIPE           |
|                            | IRON ROD            |
|                            | CATCH BASIN         |
|                            | SANITARY MANHOLE    |
|                            | UTILITY POLE        |
|                            | LIGHT POLE          |
|                            | WATER LINE          |
|                            | GAS LINE            |
|                            | STORM DRAIN         |
|                            | SANITARY SEWER      |
|                            | OVERHEAD WIRE       |
|                            | ELECTRIC            |
|                            | CONTOUR LINE        |
|                            | DECIDUOUS TREE      |
|                            | EVERGREEN TREE      |
|                            | BOLLARD             |
|                            | HYDRANT             |
|                            | SIGN                |
|                            | MANHOLE             |
|                            | CONTRACT LIMIT LINE |

SURVEY PERFORMED BY M&P ENGINEERING AND  
LAND SURVEYING, PLLC, TITLED ELMIRA  
PSYCHIATRIC CENTER ON SEPTEMBER, 5 2025.

DESIGN & CONSTRUCTION

CONSULTANT: FISHER ASSOCIATES, P.E., L.S., L.A., D.P.C.

CERTIFICATE OF AUTHORIZATION #: 0229900

FISHER ASSOCIATES

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REGISTRATION EXPIRES:  
9/30/2028

CONTRACT: 47640-C

TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:  
OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

PROJECT NUMBER: 47640-C  
DESIGNED BY: W. HOSTETTER  
DRAWN BY: W. HOSTETTER  
FIELD CHECK: M. O'ROURKE  
APPROVED: J. JONES

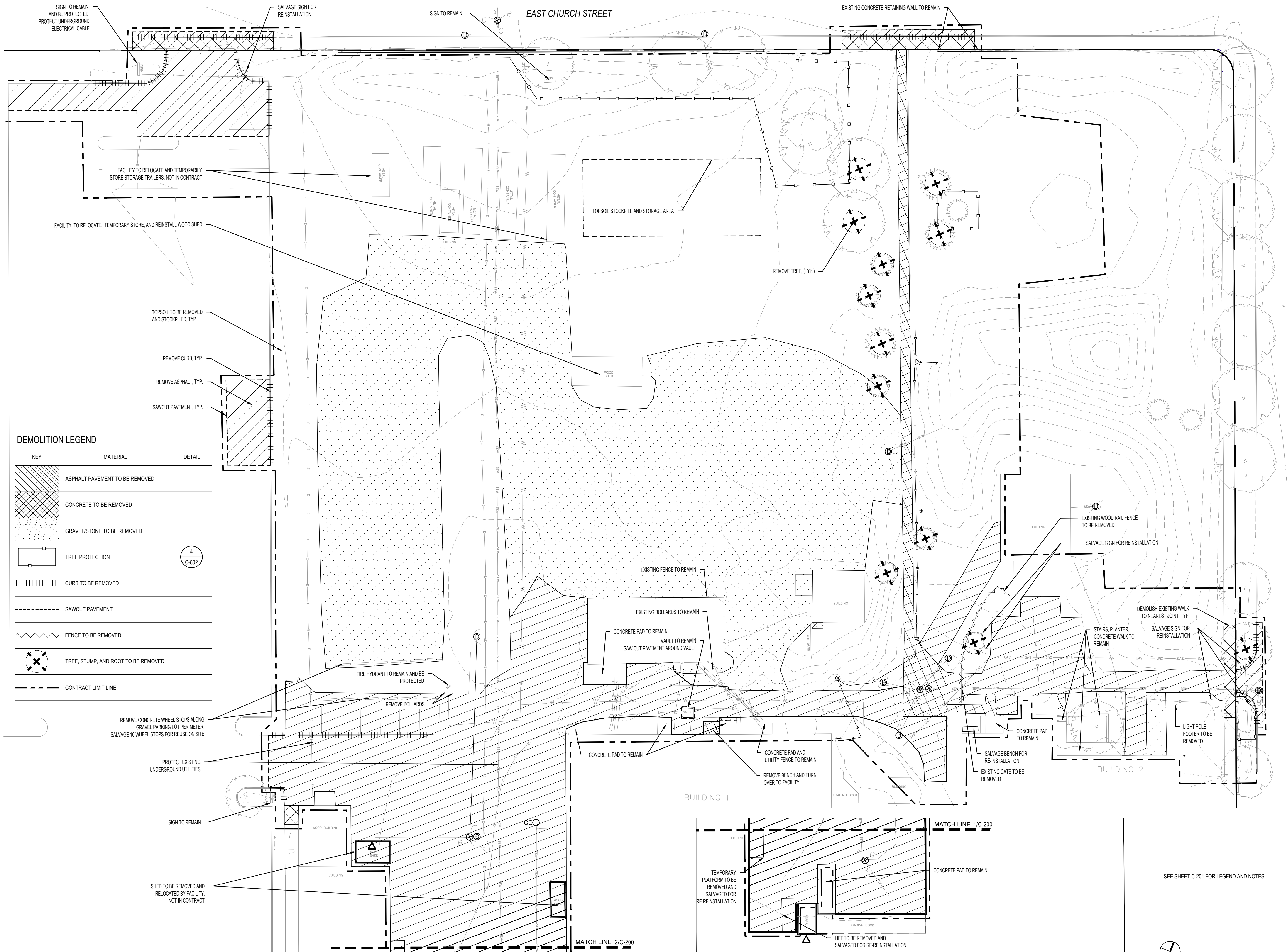
DRAWING TITLE:

PAVEMENT  
REPLACEMENT (SOUTH)  
EXISTING CONDITIONS

DRAWING NUMBER:  
C-101

DRAWING 3

Aug 21, 2026 - 11:58am  
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36x24 PLOT SHEET



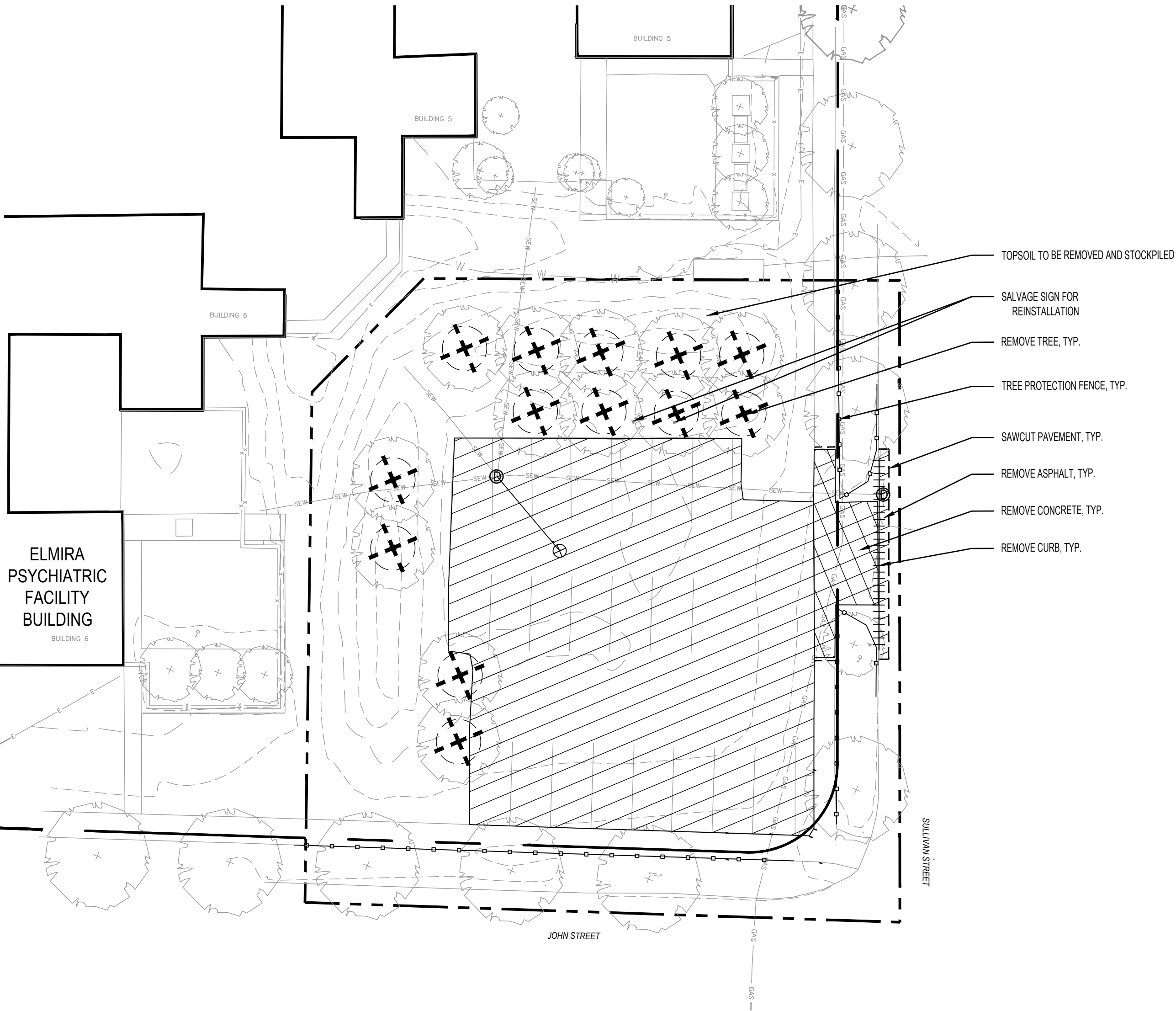
CONSTRUCTION

| MARK            | DATE           | DESCRIPTION    |
|-----------------|----------------|----------------|
| 1               | 8/21/2026      | ADDENDUM #1    |
|                 | 11/28/2025     | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C        |                |
| DESIGNED BY:    | W. HOSTETTER   |                |
| DRAWN BY:       | W. HOSTETTER   |                |
| FIELD CHECK:    | M. O'ROURKE    |                |
| APPROVED:       | B. SPRENGNETHY |                |

DRAWING TITLE: PAVEMENT REPLACEMENT (NORTH) DEMOLITION PLAN

DRAWING NUMBER: C-200

Aug. 21, 2026 - 11:58am  
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36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT SOUTH DEMOLITION PLAN  
1"=20'-0"

| DEMOLITION LEGEND |                                     |        |
|-------------------|-------------------------------------|--------|
| KEY               | MATERIAL                            | DETAIL |
|                   | ASPHALT PAVEMENT TO BE REMOVED      |        |
|                   | CONCRETE TO BE REMOVED              |        |
|                   | GRAVEL/STONE TO BE REMOVED          |        |
|                   | TREE PROTECTION                     |        |
|                   | CURB TO BE REMOVED                  |        |
|                   | SAWCUT PAVEMENT                     |        |
|                   | FENCE TO BE REMOVED                 |        |
|                   | TREE, STUMP, AND ROOT TO BE REMOVED |        |
|                   | CONTRACT LIMIT LINE                 |        |



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REGISTRATION EXPIRES: 01/31/2026

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

|      |            |                |
|------|------------|----------------|
|      |            |                |
|      |            |                |
|      |            |                |
|      |            |                |
|      |            |                |
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

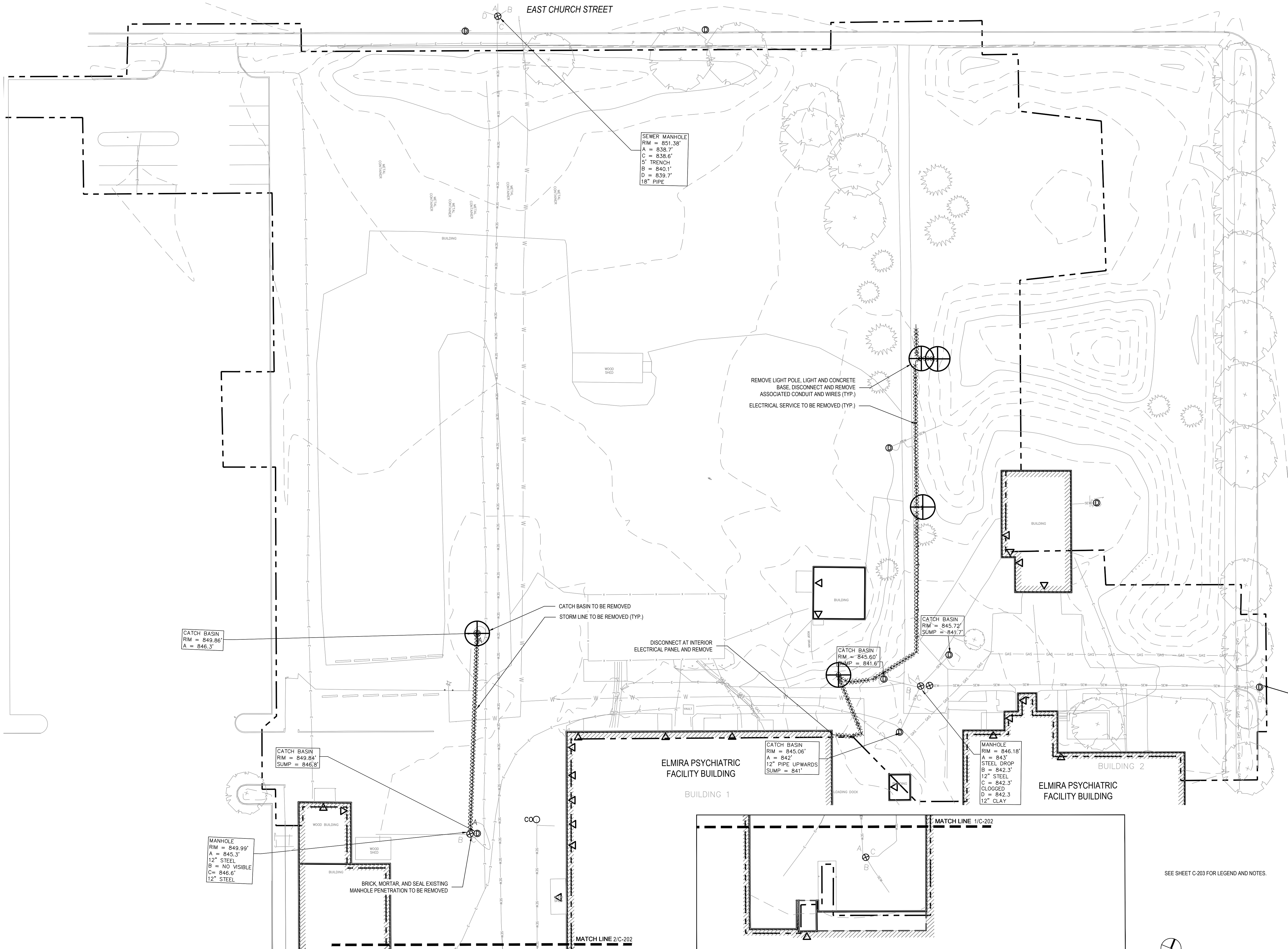
PROJECT NUMBER: 47640-C  
DESIGNED BY: W. HOSTETTER  
DRAWN BY: W. HOSTETTER  
FIELD CHECK: M. O'ROURKE  
APPROVED: B. SPRENGNETHER

DRAWING TITLE:

PAVEMENT REPLACEMENT (SOUTH) DEMOLITION PLAN

DRAWING NUMBER: C-201

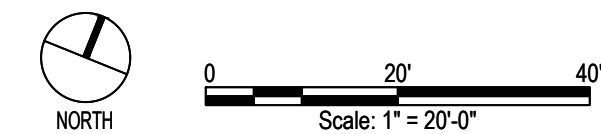
Aug 21, 2026 - 11:59am  
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36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT NORTH UTILITIES REMOVAL PLAN  
1"=20'-0"

2 LOADING DOCK UTILITIES REMOVAL PLAN  
1"=20'-0"

SEE SHEET C-203 FOR LEGEND AND NOTES.



REGISTRATION EXPIRES:  
9/30/2028

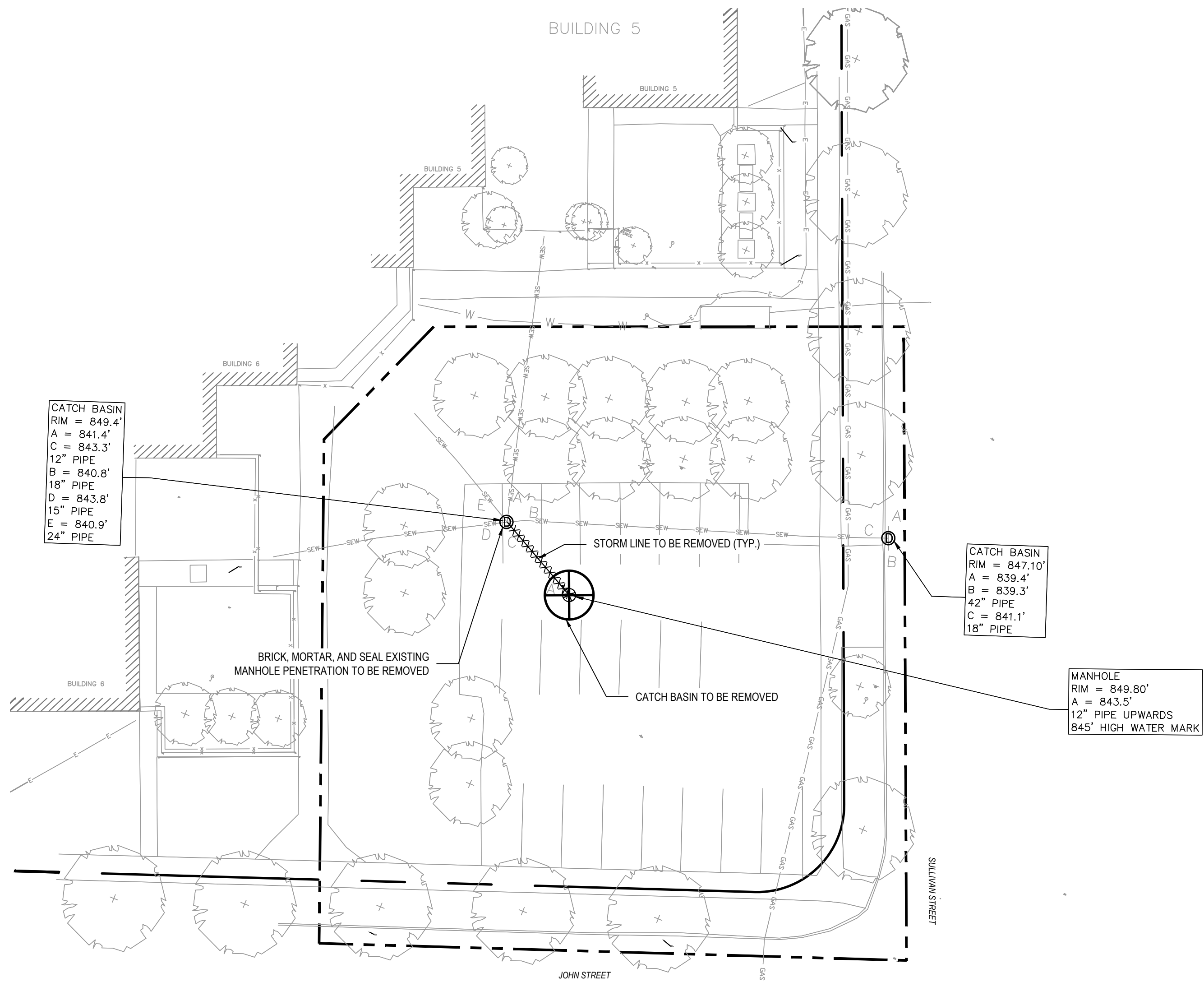
|           |                                                                        |
|-----------|------------------------------------------------------------------------|
| CONTRACT: | 47640-C                                                                |
| TITLE:    | REPLACE ASPHALT PAVEMENT &<br>REPLACE COURTYARD FENCING                |
| LOCATION: | ELMIRA PSYCHIATRIC CENTER<br>100 WASHINGTON STREET<br>ELMIRA, NY 14901 |
| CLIENT:   | OFFICE OF<br>MENTAL HEALTH                                             |

## CONSTRUCTION

| MARK            | DATE            | DESCRIPTION    |
|-----------------|-----------------|----------------|
| 1               | 8/21/2026       | ADDENDUM #1    |
|                 | 11/28/2025      | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C         |                |
| DESIGNED BY:    | W. HOSTETTER    |                |
| DRAWN BY:       | W. HOSTETTER    |                |
| FIELD CHECK:    | XXXXX           |                |
| APPROVED:       | B. SPRENGNETHER |                |

DRAWING TITLE:  
PAVEMENT  
REPLACEMENT (NORTH)  
UTILITIES REMOVAL  
PLAN

DRAWING NUMBER:  
C-202



| DEMOLITION LEGEND |                                              |        |
|-------------------|----------------------------------------------|--------|
| KEY               | MATERIAL                                     | DETAIL |
| XXXXXXXXXX        | LINEAR FEATURE TO BE REMOVED(+/-22FT)        |        |
|                   | CATCH BASIN/MANHOLE/LIGHT POLE TO BE REMOVED |        |

- DEMOLITION NOTES**
- REFER TO E DRAWINGS FOR ELECTRICAL REMOVALS.
  - CONTRACTOR SHALL VERIFY LOCATION AND STATUS OF ALL UTILITIES BEFORE PERFORMING ANY WORK.
  - ANY UTILITIES DAMAGES (EXISTING OR NEW) DURING THE REMOVAL OF ANOTHER UTILITY SHALL BE REPAIRED TO THE APPROVAL OF THE DIRECTOR'S REPRESENTATIVE AT NO COST TO THE DIRECTOR'S REPRESENTATIVE.
  - REMOVAL OF STRUCTURE / PIPE SHALL BE COORDINATED WITH THE INSTALLATION OF THE NEW STRUCTURE / PIPE.
  - CONTRACTOR IS RESPONSIBLE FOR ARRANGING STAKE-OUT OF EXISTING UTILITIES BY CONTACTING DIG SAFELY AT LEAST 72 HOURS PRIOR TO COMMENCING DEMOLITION.
  - CONTRACTOR MUST CONFIRM THE LOCATION OF ALL SITE FEATURES. IF FIELD MEASUREMENTS DO NOT MATCH PLANS, CONTRACTOR MUST INFORM THE DIRECTOR'S REPRESENTATIVE.
  - CONTRACTOR TO CORDON OFF WORK LIMITS APPROPRIATELY AND KEEP AREAS OUTSIDE OF WORK LIMITS CLEAR AND CLEAN OF CONSTRUCTION DEBRIS DURING DEMOLITION.
  - CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT UTILITIES DURING CONSTRUCTION, UNLESS NOTED.
  - MAINTAIN UTILITY SERVICES AND ACCESS TO NEIGHBORING BUILDINGS AND PROPERTIES AT ALL TIMES. DO NOT REMOVE UTILITIES OR ROADWAY UNTIL ALTERNATIVE OR RE-ROUTED FACILITIES HAVE BEEN COMPLETED, APPROVED AND ACCEPTED FOR USE BY THE DIRECTOR'S REPRESENTATIVE AND/OR PUBLIC AGENCIES HAVING JURISDICTION.
  - WITHIN THE LIMITS OF DEMOLITION, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED AND LEGALLY DISPOSED INCLUDING ALL FEES, IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
  - BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR EARTHWORK, INCLUDING BUT NOT LIMITED TO MATERIAL AND COMPACTION.
  - LIMITS OF REMOVAL SHOWN ON DEMOLITION PLAN ARE APPROXIMATE ONLY. ACTUAL QUANTITIES MAY VARY DUE TO CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION, REMOVAL AND RESTORATION WORK NECESSARY TO PERMIT CONSTRUCTION OF THE PROPOSED PROJECT. THE CONTRACTOR SHALL SECURE THE ENTIRE WORK AREA PRIOR TO BEGINNING DEMOLITION WORK.
  - ALL MATERIAL TO BE DEMOLISHED AND REMOVED, UNLESS OTHERWISE NOTED, IS THE CONTRACTOR'S PROPERTY AND IS THE CONTRACTOR'S RESPONSIBILITY TO BE REMOVED OFF-SITE AT THE CONTRACTOR'S EXPENSE. CONTRACTORS ARE TO DISPOSE OF CONSTRUCTION AND DEMOLITION DEBRIS (C&DD) IN A LEGAL MANNER.
  - PRIOR TO ANY DEMOLITION WORK OR CONSTRUCTION, CONTACT DIRECTOR'S REPRESENTATIVE FOR ANY SALVAGEABLE ITEMS THAT WILL BE REMOVED AND STORED.
  - THE LOCATION OF ALL EXITING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
  - ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED, AND ALL UTILITIES TO BE REMOVED IF UNDER PROPOSED BUILDINGS.
  - DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**WARNING:**

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.



REGISTRATION EXPIRES:  
9/30/2028

CONTRACT:  
47640-C

TITLE:  
**REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING**

LOCATION:  
**ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901**

CLIENT:  
**OFFICE OF  
MENTAL HEALTH**

**CONSTRUCTION**

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

PROJECT NUMBER: **47640-C**

DESIGNED BY: **W. HOSTETTER**

DRAWN BY: **W. HOSTETTER**

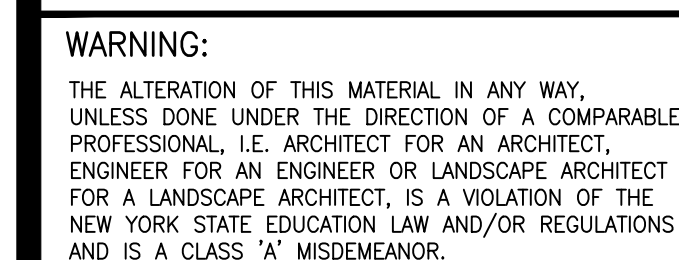
FIELD CHECK: **XXXXX**

APPROVED: **B. SPRENGNETH**

DRAWING TITLE:

**PAVEMENT  
REPLACEMENT (SOUTH)  
UTILITIES REMOVAL  
PLAN**

DRAWING NUMBER:  
**C-203**



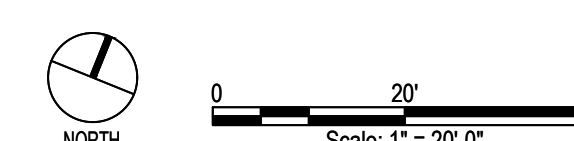
TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

CLIENT: OFFICE OF  
MENTAL HEALTH

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| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

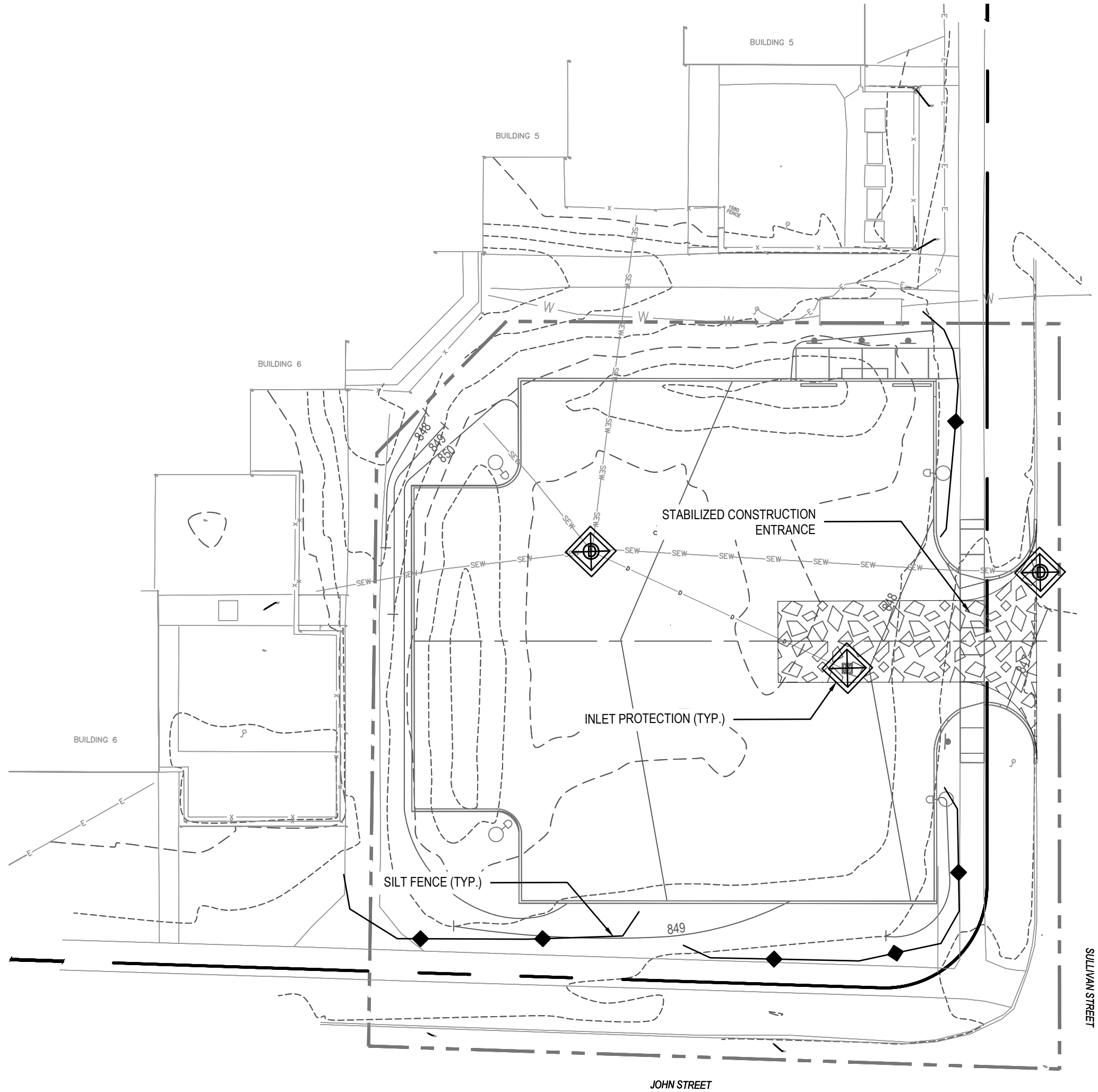
|           |          |
|-----------|----------|
| APPROVED: | J. JONES |
|-----------|----------|

DRAWING 8 OF 34



1 PAVING REPLACEMENT EROSION AND SEDIMENT CONTROL PLAN  
1"=20'-0"

2 LOADING DOCK EROSION AND SEDIMENT CONTROL PLAN  
1"=20'-0"



| EROSION AND SEDIMENT CONTROL LEGEND |                                  |                |
|-------------------------------------|----------------------------------|----------------|
| KEY                                 | MATERIAL                         | DETAIL         |
|                                     | CATCH BASIN                      | <br>4<br>C-803 |
|                                     | STORM LINE                       | <br>6<br>C-803 |
|                                     | UNDERDRAIN                       | <br>6<br>C-803 |
|                                     | BIORETENTION AREA                | <br>8<br>C-804 |
|                                     | EXISTING CONTOUR                 |                |
|                                     | PROPOSED CONTOUR                 |                |
|                                     | SILT FENCE                       | <br>3<br>C-802 |
|                                     | STABILIZED CONSTRUCTION ENTRANCE | <br>1<br>C-802 |
|                                     | INLET PROTECTION                 | <br>5<br>C-802 |
|                                     | CONTRACT LIMIT LINE              |                |

- ### EROSION AND SEDIMENT CONTROL NOTES
- THE CONTRACTOR SHALL STRICTLY ADHERE TO ANY EROSION CONTROL MEASURES PRESENTED ON THESE PLANS DURING CONSTRUCTION OPERATIONS. STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN SHALL BE INSTALLED AS SOON AS PRACTICABLE.
  - NO LAND CLEARING, GRADING, OR OTHER LAND DISTURBING ACTIVITIES SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES, EXISTING STORM FACILITIES, AND SEDIMENT BASINS HAVE BEEN INSTALLED AND AUTHORIZATION HAS BEEN GRANTED BY THE GOVERNING AUTHORITY.
  - CONTRACTORS AND SUBCONTRACTORS SHALL STRICTLY ADHERE TO ALL REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (GP-0-25-001), THE NYS STANDARDS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK), AND ALL OTHER FEDERAL, STATE, OR LOCAL ORDINANCES THAT MAY APPLY DURING CONSTRUCTION.
  - CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH THIS PROJECT SHALL TAKE ANY NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION AT THE DISCRETION OF THE DIRECTOR'S REPRESENTATIVE.
  - CONTRACTORS AND SUBCONTRACTORS SHALL IMPLEMENT BEST MANAGEMENT SEDIMENT AND EROSION CONTROL PRACTICES AS REQUIRED BY THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK). ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY SITE CONDITIONS AT NO ADDITIONAL COST THROUGHOUT CONSTRUCTION.
  - SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) DAYS AND OR MORE FREQUENTLY IF REQUIRED. ANY MAINTENANCE REQUIRED BY INSPECTION SHALL COMMENCE WITHIN 24 HOURS AND BE COMPLETED WITHIN 48 HOURS OF REPORT.
  - CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT. AT NO TIME SHALL THE CONTRACTOR DISTURB MORE THAN 5 ACRES AT ANY ONE TIME WITHOUT OBTAINING PRIOR WRITTEN APPROVAL FROM NYSDEC.
  - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 7 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. TEMPORARY SEEDING SHALL CONSIST OF RYEGRASS AT 30#/ACRE OR AROOSTOOK WINTER RYE AT 1000#/ACRE. USE WINTER RYE IF SEEDING IN OCTOBER OR NOVEMBER. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT.
  - DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THEN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. PERMANENT SEEDING SHALL CONSIST OF THE MIXES AS LISTED IN THE SEEDING NOTES AND AS DESIGNATED ON THE LANDSCAPE PLANS, IF PROVIDED. THE MINIMUM APPLICATION RATE FOR NEWLY SEEDED AREAS SHALL BE AS DESIGNATED IN THE SEEDING AND LANDSCAPE SPECIFICATIONS, IF PROVIDED. THE OPTIMUM TIME FOR SEEDING IS EARLY SPRING. MIDSUMMER SEEDING SHOULD BE AVOIDED.
  - SEEDING OF BARE SOIL SHALL BE WITHIN 7 DAYS OF EXPOSURE, UNLESS CONSTRUCTION WILL BEGIN WITHIN 14 DAYS. PRIOR TO SEEDING, SOIL AMENDMENTS OF LIME AND FERTILIZER SHALL BE ADDED AS DESIGNATED ON THE LANDSCAPE PLANS. AFTER SEEDING, MULCH IN ACCORDANCE WITH TABLE 4.2 OF NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK).
  - MULCHING OR STRAW IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
  - IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
  - CONTRACTOR IS RESPONSIBLE FOR KEEPING THE PUBLIC R.O.W AND ROAD PAVEMENTS CLEAN. ANY MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS, FACILITY WALKWAYS, OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
  - SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
  - DUST ON THE SITE SHALL BE CONTROLLED IN ACCORDANCE WITH THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (BLUE BOOK). THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
  - RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS AND PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE.
  - STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.

**WARNING:**

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REGISTRATION EXPIRES:  
9/30/2028

**CONTRACT:**

47640-C

**TITLE:**

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

**LOCATION:**

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

**CLIENT:**

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

|                 |              |                |
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| 1               | 8/21/2026    | ADDENDUM #1    |
|                 | 11/28/2025   | FINAL BID DOCS |
| MARK            | DATE         | DESCRIPTION    |
| PROJECT NUMBER: | 47640-C      |                |
| DESIGNED BY:    | W. HOSTETTER |                |
| DRAWN BY:       | W. HOSTETTER |                |
| FIELD CHECK:    | M. O'ROURKE  |                |
| APPROVED:       | J. JONES     |                |

**DRAWING TITLE:**

PAVEMENT REPLACEMENT  
(SOUTH) EROSION AND  
SEDIMENT CONTROL PLAN

**DRAWING NUMBER:**

C-301

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS 'A' MISDEMEANOR.



TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF  
MENTAL HEALTH

## CONSTRUCTION

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| 1               | 8/21/2026                | ADDENDUM #1    |
|                 | 11/28/2025               | FINAL BID DOCS |
| MARK            | DATE                     | DESCRIPTION    |
| PROJECT NUMBER: | 47640-C                  |                |
| DESIGNED BY:    | M. O'ROURKE              |                |
| DRAWN BY:       | M. O'ROURKE/ V. TROSHKIN |                |
| FIELD CHECK:    | M. O'ROURKE              |                |
| APPROVED:       | B. SPRENGNETHER          |                |

# PAVEMENT REPLACEMENT (NORTH) LAYOUT AND MATERIALS PLAN

C-400

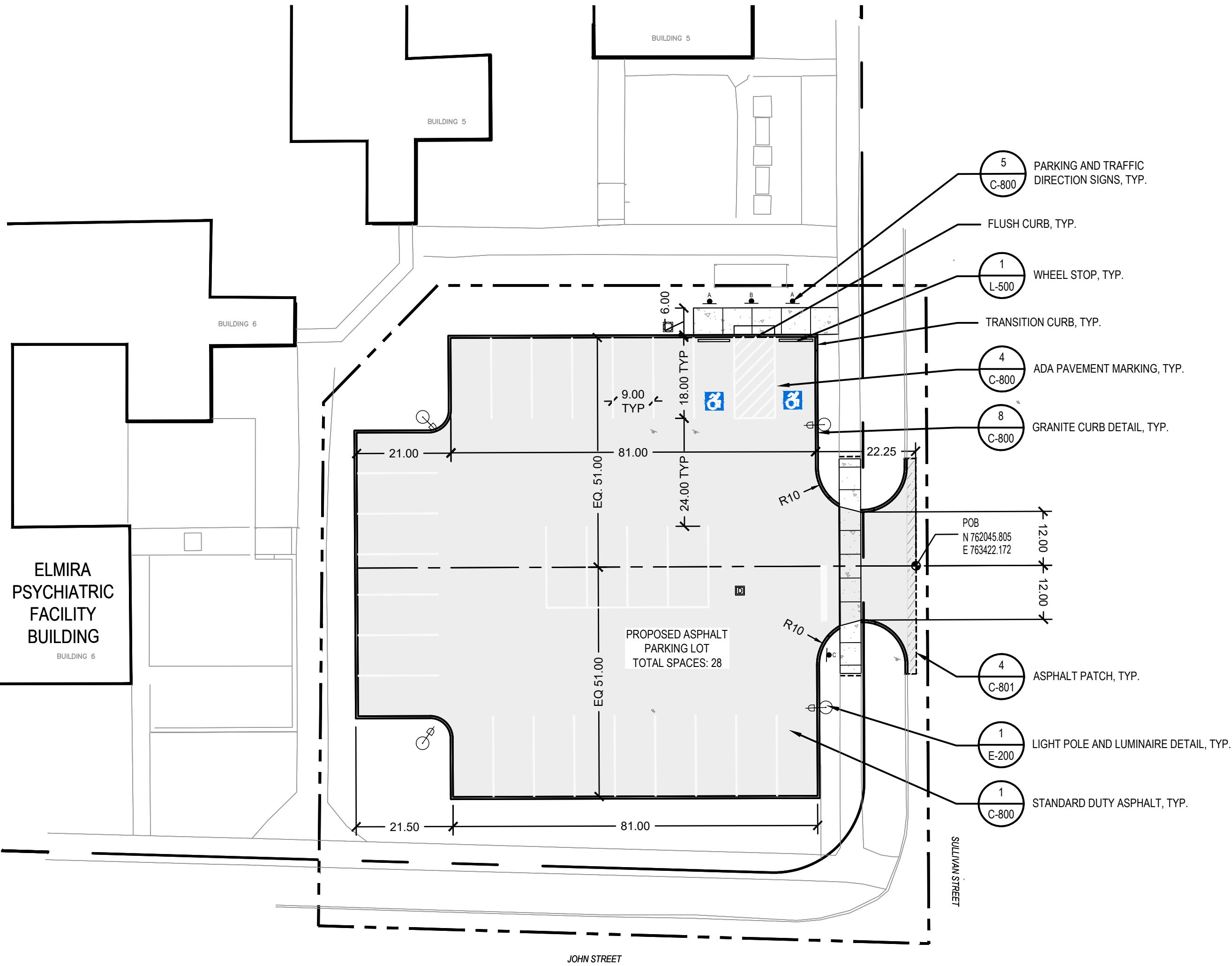
DRAWING 10



0 20'

Scale: 1" = 20'-0"

Aug. 21, 2026 - 12:00pm  
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36x24 PLOT SHEET



| LAYOUT AND MATERIALS LEGEND |                                     |        |
|-----------------------------|-------------------------------------|--------|
| KEY                         | MATERIAL                            | DETAIL |
|                             | MEDIUM DUTY CONCRETE                |        |
|                             | HEAVY DUTY CONCRETE                 |        |
|                             | STANDARD DUTY ASPHALT               |        |
|                             | HEAVY DUTY ASPHALT                  |        |
|                             | GRAVEL PAVING                       |        |
|                             | ASPHALT PATCH                       |        |
|                             | LIGHT POLES                         |        |
|                             | PARKING AND TRAFFIC DIRECTION SIGNS |        |
|                             | CONCRETE JOINTS                     |        |
|                             | NORTHING / EASTING COORDINATE       |        |
|                             | CONTRACT LIMIT LINE                 |        |

- LAYOUT NOTES
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.
  - GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
  - VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT ANY DISCREPANCIES TO DIRECTOR'S REPRESENTATIVE BEFORE PROCEEDING.
  - DO NOT SCALE FROM MEASURING DRAWINGS.
  - WALKS, DRIVES AND WALLS TO BE STAKED OUT IN THE FIELD BY A LICENSED SURVEYOR.
  - LAYOUT DIMENSIONS AND RADII TO WALLS, CURBS, AND OTHER FEATURES ARE TO EXPOSED FACES UNLESS OTHERWISE NOTED.
  - ALL PAVEMENT RADII ARE 5' UNLESS OTHERWISE NOTED ON PLAN.
  - INSTALL SIGNS PER MUTCD Sec. 2A.18. CONTRACTOR TO VERIFY SIGN LOCATIONS WITH DIRECTOR'S REPRESENTATIVE BEFORE INSTALLATION.

- SCORING NOTES
- SCORING SHOWN IS INTENDED TO MINIMIZE CRACKING AT RADIUS INTERSECTIONS.
  - WHERE POSSIBLE, RADIUS FLARES SHALL BE INCORPORATED INTO LARGER POURS TO MINIMIZE ACUTE ANGLES.
  - TYPICAL SCORING IS TO LAYOUT EQUALLY SPACED SCORES WITHIN EVERY RUN OF PAVEMENT SECTION. SPACING SHALL BE EQUAL OR SIMILAR TO WIDTH OF WALK.
  - ALL CONSTRUCTION JOINTS SHALL BE REINFORCED WITH DOWELS PER DETAIL.
  - INSTALL EXPANSION JOINTS EVERY 30' MAX IN CONCRETE PAVEMENT AND IN AREAS WHERE CONCRETE ABUTS CURBS OR OTHER FIXED OBJECTS.
  - PRE-POUR MEETING THAT INCLUDES CONTRACTOR AND DIRECTOR'S REPRESENTATIVE TO OCCUR.

- NORTHING AND EASTING NOTES
- HORIZONTAL AND VERTICAL DATUMS ARE REFERENCED TO THE COORDINATE SYSTEM AS NOTED ON SURVEY.
  - CONTRACTOR SHALL VERIFY BENCHMARK ELEVATIONS PRIOR TO CONSTRUCTION.

WARNING:

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REGISTRATION EXPIRES: 01/31/2029

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

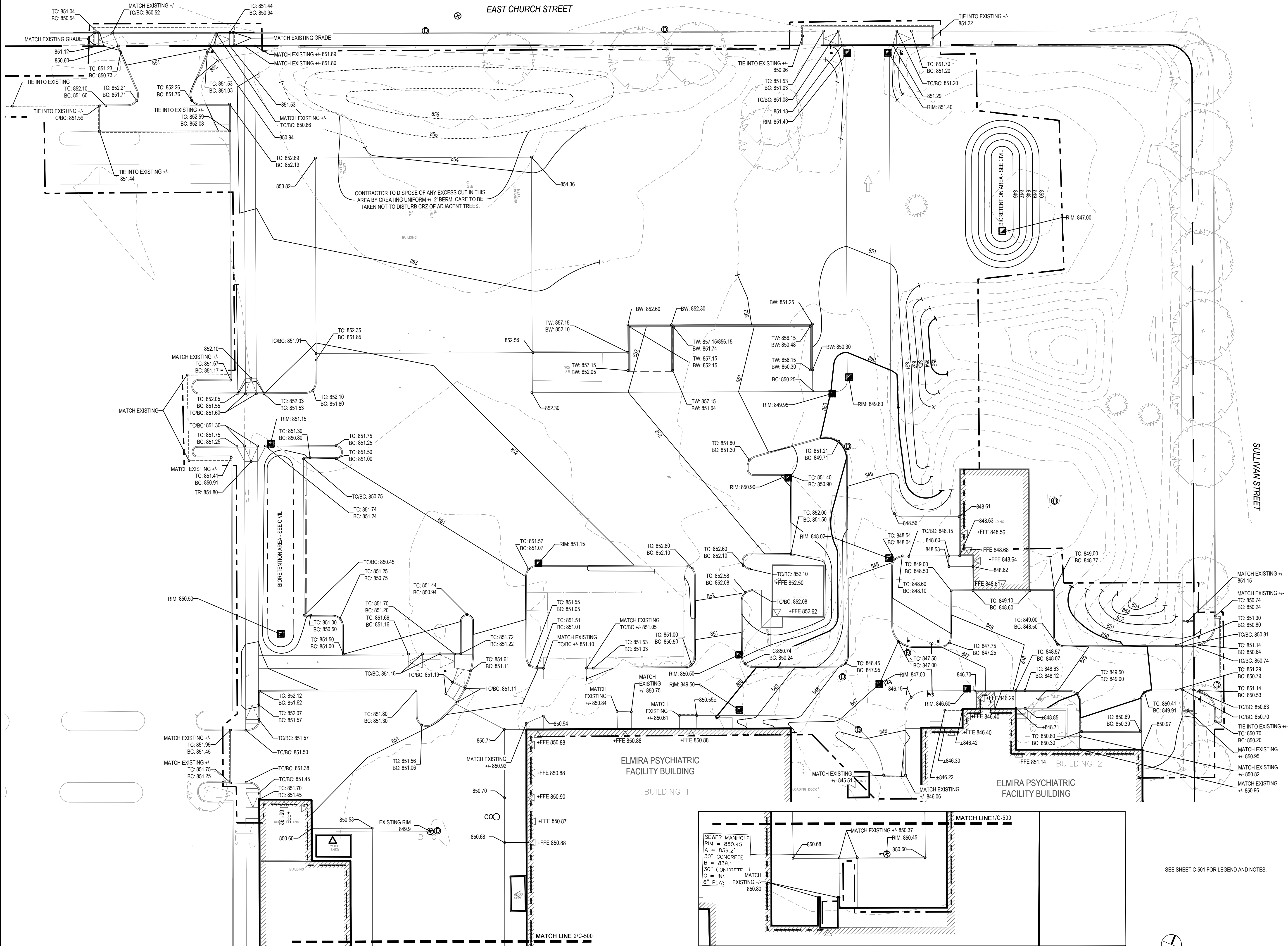
CONSTRUCTION

| MARK                               | DATE       | DESCRIPTION    |
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| 1                                  | 8/21/2026  | ADDENDUM #1    |
|                                    | 11/28/2025 | FINAL BID DOCS |
| PROJECT NUMBER: 47640-C            |            |                |
| DESIGNED BY: M. O'ROURKE           |            |                |
| DRAWN BY: M. O'ROURKE/ V. TROSHKIN |            |                |
| FIELD CHECK: M. O'ROURKE           |            |                |
| APPROVED: B. SPRENGNETHER          |            |                |

DRAWING TITLE: PAVEMENT REPLACEMENT (SOUTH) LAYOUT AND MATERIALS PLAN

DRAWING NUMBER: C-401

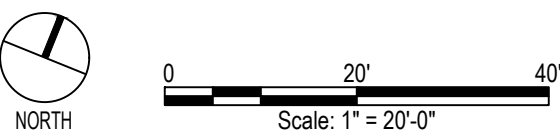
Aug 21, 2026 - 12:01pm  
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36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT NORTH GRADING PLAN  
1"=20'-0"

2 LOADING DOCK LAYOUT PLAN  
1"=20'-0"

SEE SHEET C-501 FOR LEGEND AND NOTES.



WARNING:

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REGISTRATION EXPIRES:  
01/31/2029

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

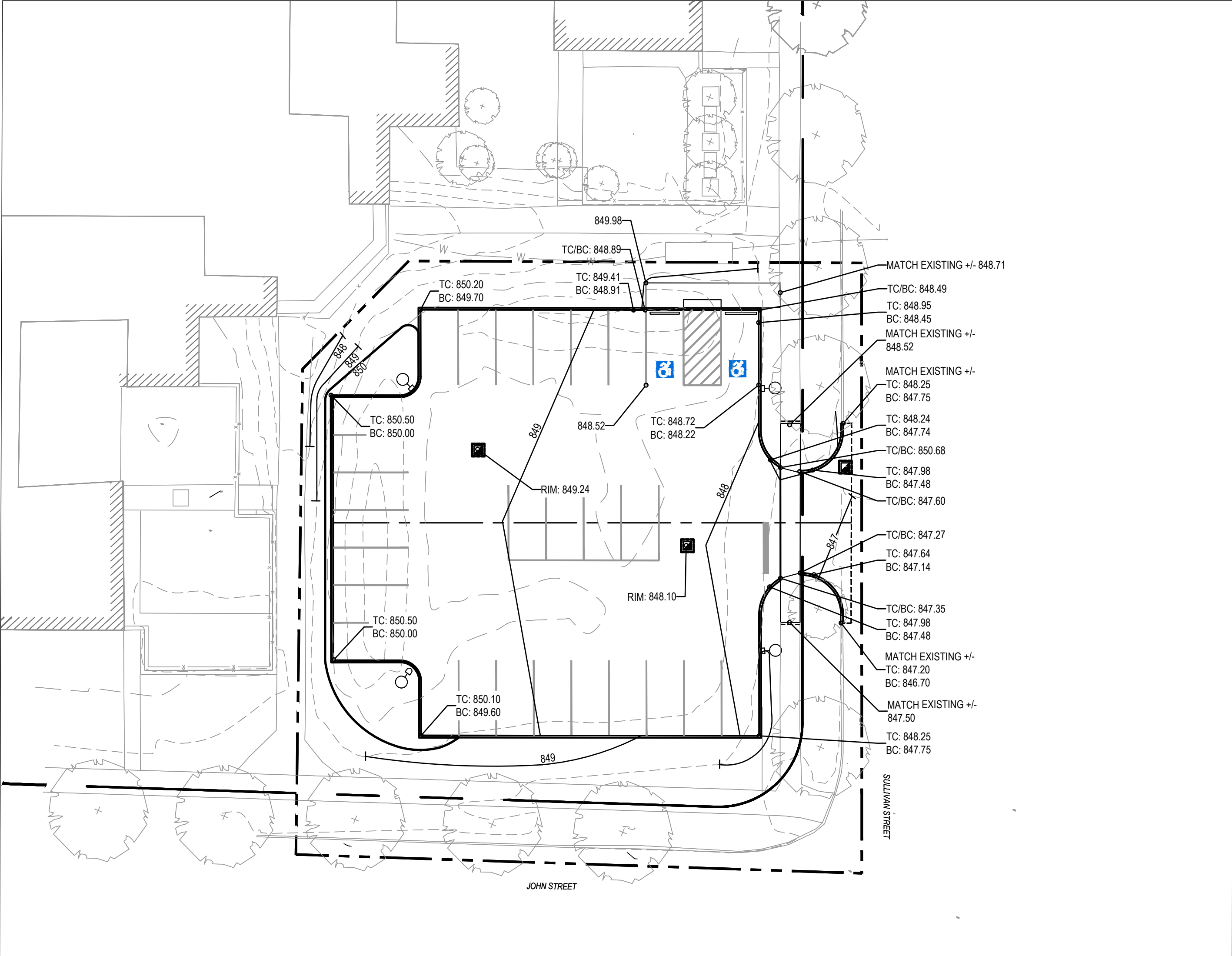
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK            | DATE                                      | DESCRIPTION    |
|-----------------|-------------------------------------------|----------------|
| 1               | 8/21/2026                                 | ADDENDUM #1    |
|                 | 11/28/2025                                | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C                                   |                |
| DESIGNED BY:    | M. O'ROURKE                               |                |
| DRAWN BY:       | M. O'ROURKE/V. TROSHKIN                   |                |
| FIELD CHECK:    | M. O'ROURKE                               |                |
| APPROVED:       | B. SPRINGNETHER                           |                |
| DRAWING TITLE:  | PAVEMENT REPLACEMENT (NORTH) GRADING PLAN |                |
| DRAWING NUMBER: | C-500                                     |                |



| Grading Legend |                          |
|----------------|--------------------------|
| Key            | Material                 |
|                | EXISTING CONTOUR         |
|                | PROPOSED MAJOR CONTOUR   |
|                | PROPOSED CONTOUR         |
|                | CONTRACT LIMIT LINE      |
|                | SAWCUT                   |
| EL: XXX.XX     | PROPOSED SPOT ELEVATION  |
| + BC911.17     | EXISTING SPOT ELEVATION  |
|                | CATCH BASIN              |
| EE             | ENTRY ELEVATION          |
| FFE            | FINISHED FLOOR ELEVATION |
| TC             | TOP OF CURB              |
| BC             | BOTTOM OF CURB           |
| TW             | TOP OF WALL              |
| BW             | BOTTOM OF WALL           |

- Grading and Drainage Notes
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. GENERAL CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
  - SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
  - GRADING AROUND EXISTING TREES TO BE MINIMIZED. SEE TREE PROTECTION DETAILS.
  - MINIMIZE IMPACT TO EXISTING, REMAINING LANDSCAPE WHILE EXCAVATING. GREAT CARE IS TO BE TAKEN TO AVOID DISTURBING ROOTS OF EXISTING TREES. HAND EXCAVATION WILL BE REQUIRED WHERE EXISTING TREE ROOTS ARE PRESENT.
  - ALL EXISTING UTILITY COVERS AND GRATES WITHIN THE AREA OF DISTURBANCE ARE TO BE ADJUSTED TO MEET PROPOSED GRADES.
  - MATCH EXISTING GRADE AT ALL EDGES WHERE PROJECT WORK MEETS EXISTING SITE.
  - SEE ELECTRICAL DRAWINGS FOR PROPOSED UTILITIES.
  - IF GRADING INTERFERES WITH EXISTING SHRUB PLANTING, LIFT AND REPLANT SHRUB WHEN GRADING IS COMPLETE.
  - ALL WALKWAYS TO HAVE A MAXIMUM 1.99% CROSS SLOPE.
  - ALL ADA ACCESSIBLE ROUTES INDICATED ON PLANS TO HAVE A MAXIMUM 4.99% RUNNING SLOPE AS REQUIRED BY CODE.

WARNING:

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REGISTRATION EXPIRES: 01/31/2029

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

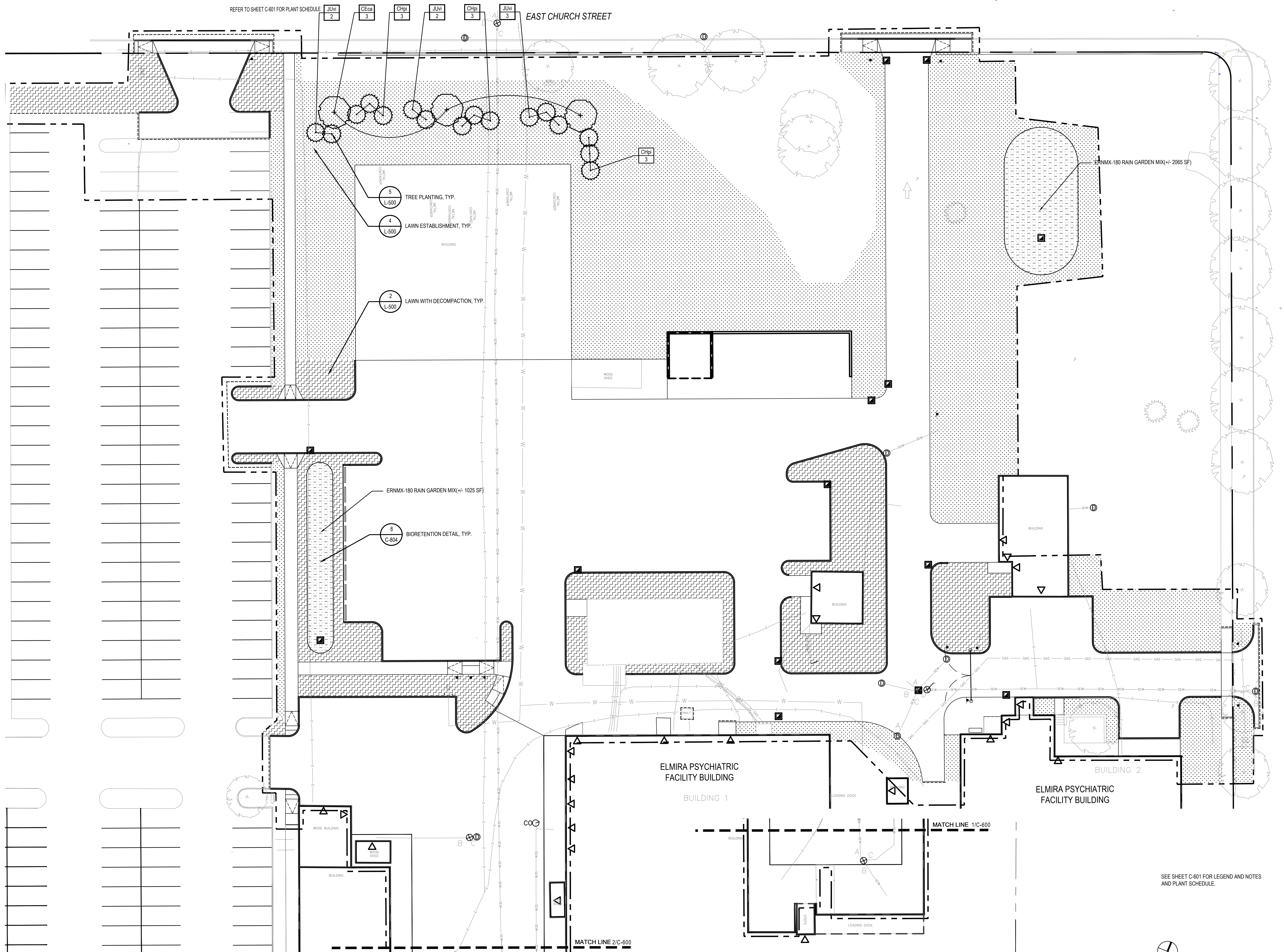
| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

|                 |                         |
|-----------------|-------------------------|
| PROJECT NUMBER: | 47640-C                 |
| DESIGNED BY:    | M. O'ROURKE             |
| DRAWN BY:       | M. O'ROURKE/V. TROSHKIN |
| FIELD CHECK:    | M. O'ROURKE             |
| APPROVED:       | B. SPRENGNETHER         |

DRAWING TITLE: PAVEMENT REPLACEMENT (SOUTH) GRADING PLAN

DRAWING NUMBER: C-501

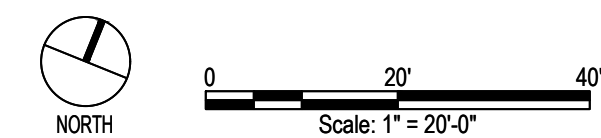
Aug 21, 2026 - 12:01 pm  
H:\Projects\22\220669-06-06S\_Pmnt\_Lmp\_Eng\CA0\OUT\47460C\_Plnting.dwg  
36x24 PLOT SHEET



1 PAVEMENT REPLACEMENT NORTH PLANTING PLAN  
1"=20'-0"

2 LOADING DOCK PLANTING PLAN  
1"=20'-0"

SEE SHEET C-601 FOR LEGEND AND NOTES  
AND PLANT SCHEDULE.



WARNING:

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REGISTRATION EXPIRES:  
01/31/2029

CONTRACT:  
47640-C

TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:  
OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK            | DATE                    | DESCRIPTION    |
|-----------------|-------------------------|----------------|
| 1               | 8/21/2026               | ADDENDUM #1    |
|                 | 11/28/2025              | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C                 |                |
| DESIGNED BY:    | M. O'ROURKE             |                |
| DRAWN BY:       | M. O'ROURKE/V. TROSHKIN |                |
| FIELD CHECK:    | M. O'ROURKE             |                |
| APPROVED:       | B. SPRENGNETHER         |                |

DRAWING TITLE:

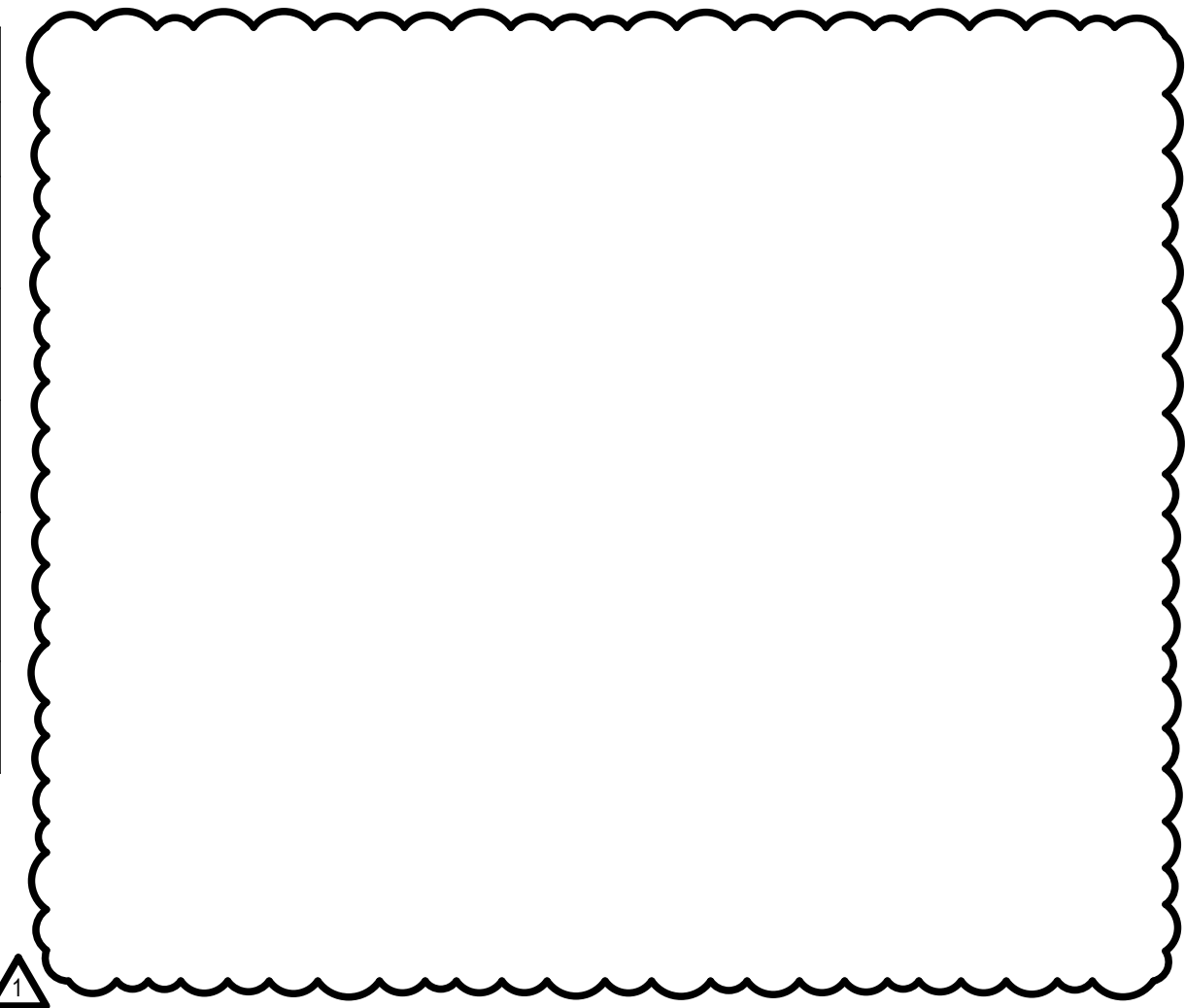
PAVEMENT  
REPLACEMENT (NORTH)  
PLANTING PLAN

DRAWING NUMBER:

C-600

| PLANTING SCHEDULE    |     |                                                |                            |      |          |       |
|----------------------|-----|------------------------------------------------|----------------------------|------|----------|-------|
| KEY                  | QTY | BOTANICAL NAME                                 | COMMON NAME                | ROOT | SIZE     | NOTES |
| MAJOR DECIDUOUS TREE |     |                                                |                            |      |          |       |
| GLtr                 | 10  | <i>Gleditsia triacanthos</i>                   | Honey Locust               | B&B  | 2.5" Cal |       |
| MINOR DECIDUOUS TREE |     |                                                |                            |      |          |       |
| CEca                 | 7   | <i>Cercis Canadensis 'Pink Trim'</i>           | Northern Herald Redbud     | B&B  | 2.5" Cal |       |
| CONIFEROUS TREE      |     |                                                |                            |      |          |       |
| CHpi                 | 9   | <i>Chamaecyparis pisifera 'Soft Serve'</i>     | Soft Serve False Cypress   | B&B  | 6'-7'    |       |
| JUvi                 | 7   | <i>Juniperus virginiana 'Emerald Sentinel'</i> | Emerald Sentinel Red Cedar | B&B  | 7'-8'    |       |

| PLANTING LEGEND |                        |        |
|-----------------|------------------------|--------|
| KEY             | MATERIAL               | DETAIL |
|                 | LAWN WITH DECOMPACTION |        |
|                 | LAWN ESTABLISHMENT     |        |
|                 | BIORETENTION DETAIL    |        |
|                 | TREE PLANTING          |        |
|                 | CONTRACT LIMIT LINE    |        |



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REGISTRATION EXPIRES:  
01/31/2029

## CONTRACT:

47640-C

## TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

## LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

## CLIENT:

OFFICE OF  
MENTAL HEALTH

## CONSTRUCTION

|  |  |  |
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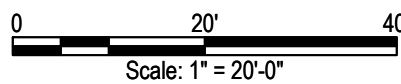
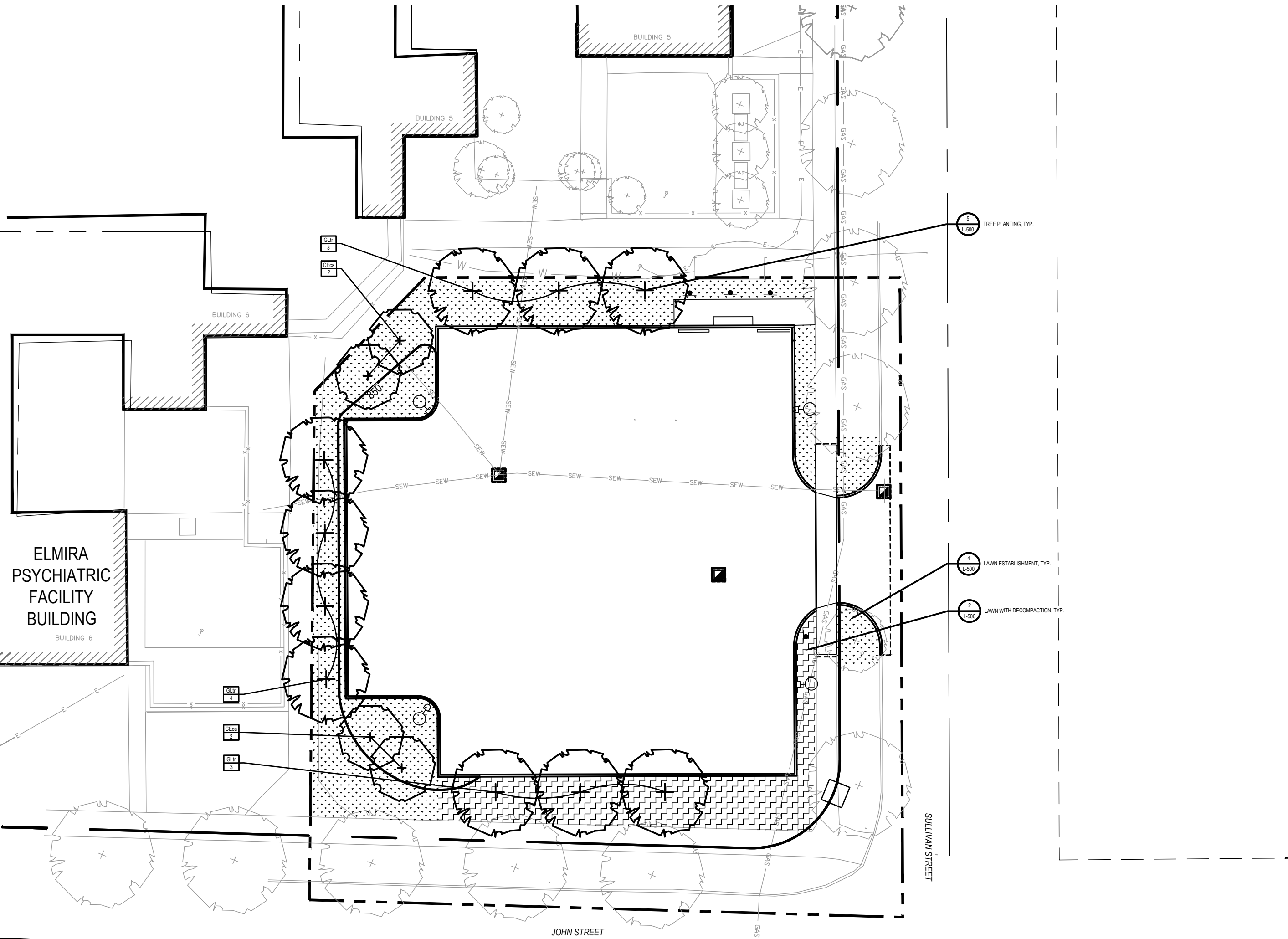
|                                   |            |                |
|-----------------------------------|------------|----------------|
| 1                                 | 8/21/2026  | ADDENDUM #1    |
|                                   | 11/28/2025 | FINAL BID DOCS |
| MARK                              | DATE       | DESCRIPTION    |
| PROJECT NUMBER: 47640-C           |            |                |
| DESIGNED BY: M. O'ROURKE          |            |                |
| DRAWN BY: M. O'ROURKE/V. TROSHKIN |            |                |
| FIELD CHECK: M. O'ROURKE          |            |                |
| APPROVED: B. SPRENGNETHER         |            |                |

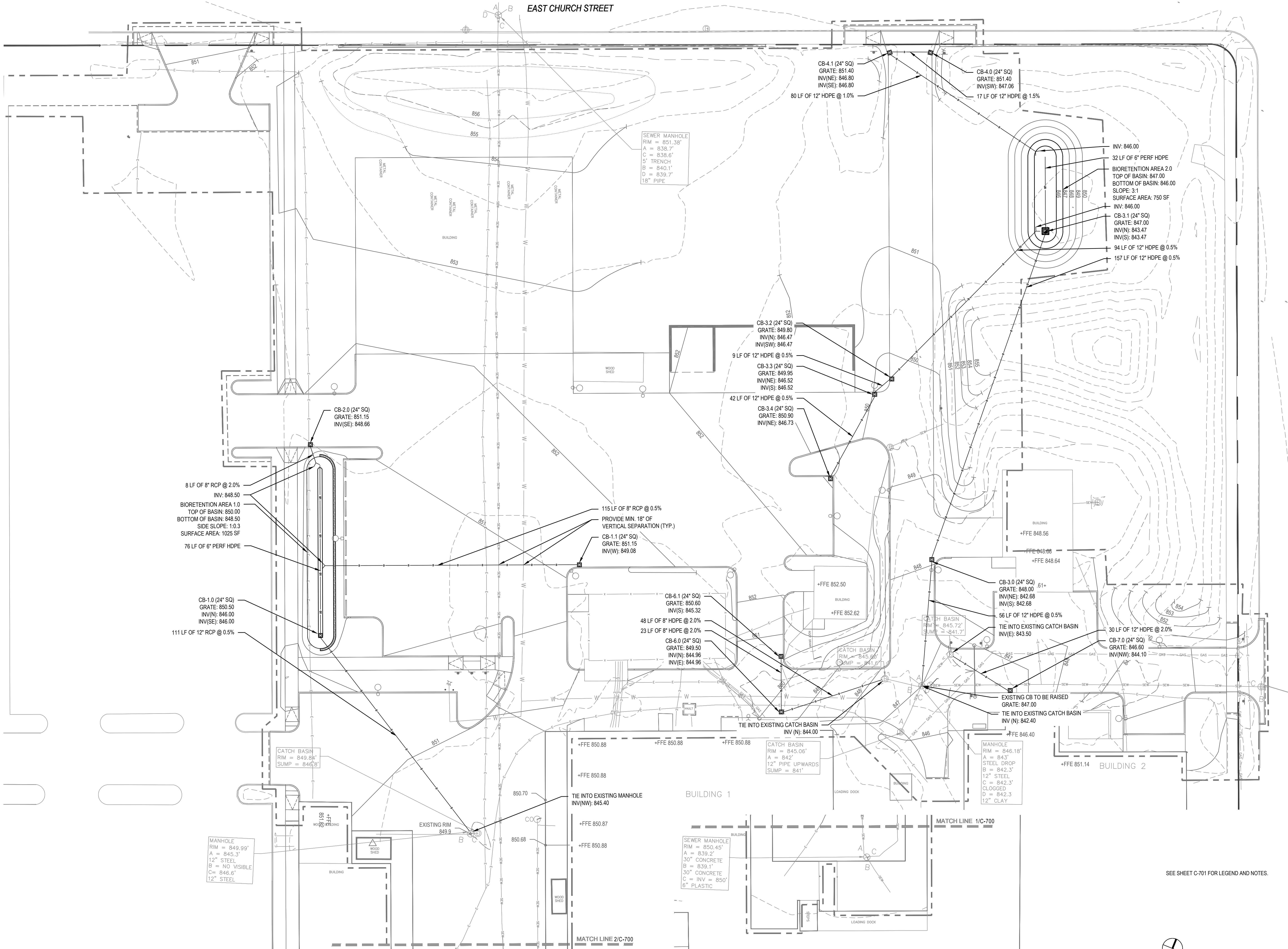
## DRAWING TITLE:

PAVEMENT  
REPLACEMENT (SOUTH)  
PLANTING PLAN

## DRAWING NUMBER:

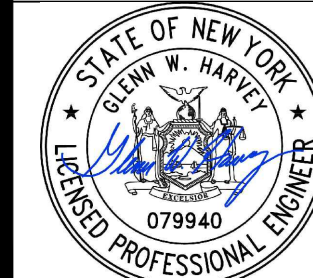
C-601





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REGISTRATION EXPIRES: 9/30/2028

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK            | DATE                                      | DESCRIPTION    |
|-----------------|-------------------------------------------|----------------|
| 1               | 8/21/2026                                 | ADDENDUM #1    |
| 11/28/2025      |                                           | FINAL BID DOCS |
| PROJECT NUMBER: | 47640-C                                   |                |
| DESIGNED BY:    | W. HOSTETTER                              |                |
| DRAWN BY:       | W. HOSTETTER                              |                |
| FIELD CHECK:    | M. O'ROURKE                               |                |
| APPROVED:       | G. HARVEY                                 |                |
| DRAWING TITLE:  | PAVEMENT REPLACEMENT(NORTH) DRAINAGE PLAN |                |
| DRAWING NUMBER: | C-700                                     |                |

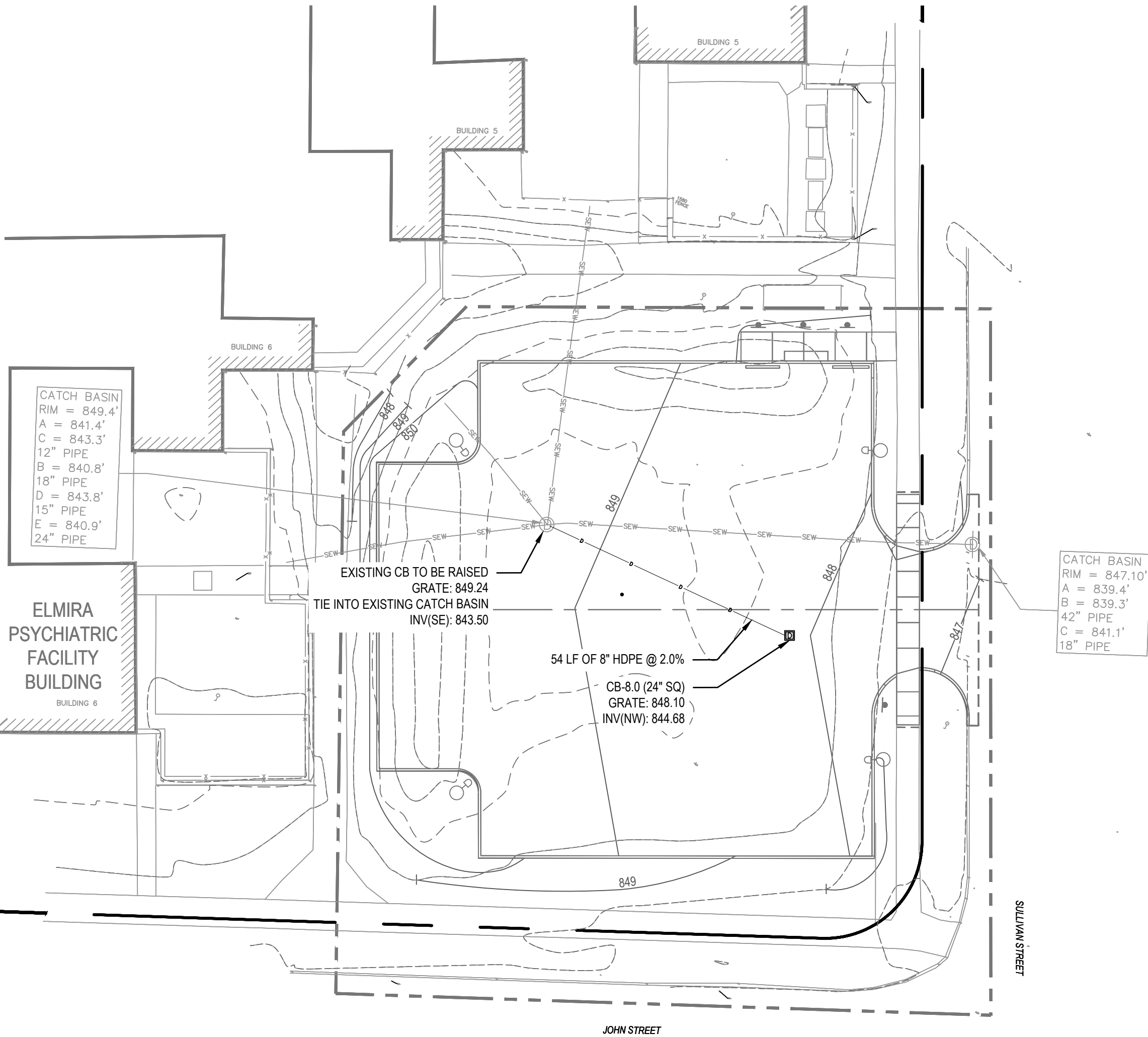
DRAWING TITLE:

PAVEMENT  
REPLACEMENT(NORTH)  
DRAINAGE PLAN

DRAWING NUMBER:

C-700

DRAWING 16



| DRAINAGE LEGEND |                     |            |
|-----------------|---------------------|------------|
| KEY             | MATERIAL            | DETAIL     |
|                 | CATCH BASIN         | 4<br>C-803 |
|                 | STORM LINE          | 6<br>C-803 |
|                 | UNDERDRAIN          | 6<br>C-803 |
|                 | BIORETENTION AREA   | 8<br>C-804 |
|                 | EXISTING CONTOUR    |            |
|                 | PROPOSED CONTOUR    |            |
|                 | CONTRACT LIMIT LINE |            |

- DRAINAGE NOTES**
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPE AND ALL UTILITIES PRIOR TO CONSTRUCTION.
  - STORM SEWER PIPE SHALL BE HIGH DENSITY CORRUGATED PLASTIC PIPE SMOOTH FLOW (CPPSF) OR AS NOTED.
  - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
  - ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE THAT THE CONNECTION AT THE STRUCTURE IS WATERTIGHT.
  - ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. ALL LIDS SHALL BE LABELED "STORM SEWER".
  - THE CONTRACTOR SHALL ADHERE TO THE SPDES GENERAL PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.

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REGISTRATION EXPIRES:  
9/30/2028

CONTRACT:  
47640-C

TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:  
OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK                      | DATE       | DESCRIPTION    |
|---------------------------|------------|----------------|
| 1                         | 8/21/2026  | ADDENDUM #1    |
|                           | 11/28/2025 | FINAL BID DOCS |
| PROJECT NUMBER: 47640-C   |            |                |
| DESIGNED BY: W. HOSTETTER |            |                |
| DRAWN BY: W. HOSTETTER    |            |                |
| FIELD CHECK: M. O'ROURKE  |            |                |
| APPROVED: G. HARVEY       |            |                |

DRAWING TITLE:

PAVEMENT  
REPLACEMENT (SOUTH)  
DRAINAGE PLAN

DRAWING NUMBER:  
C-701



The diagrams show the following dimensions:

- STRAIGHT ARROW:** Total height 11'-8", arrow height 9'-6", arrow width 1'-8", tail width 4'-6", tail height 4'-0", and a 1" gap at the bottom.
- SPEED TABLE SYMBOL:** Total width 72", total height 72", arrow width 12", arrow height 63 1/4", and a 12" gap at the top.
- ACCESSIBLE PARKING SYMBOL:** Total width 34", total height 20".

③ TYPICAL PAVEMENT MARKING SYMBOL DETAIL  
N.T.S.



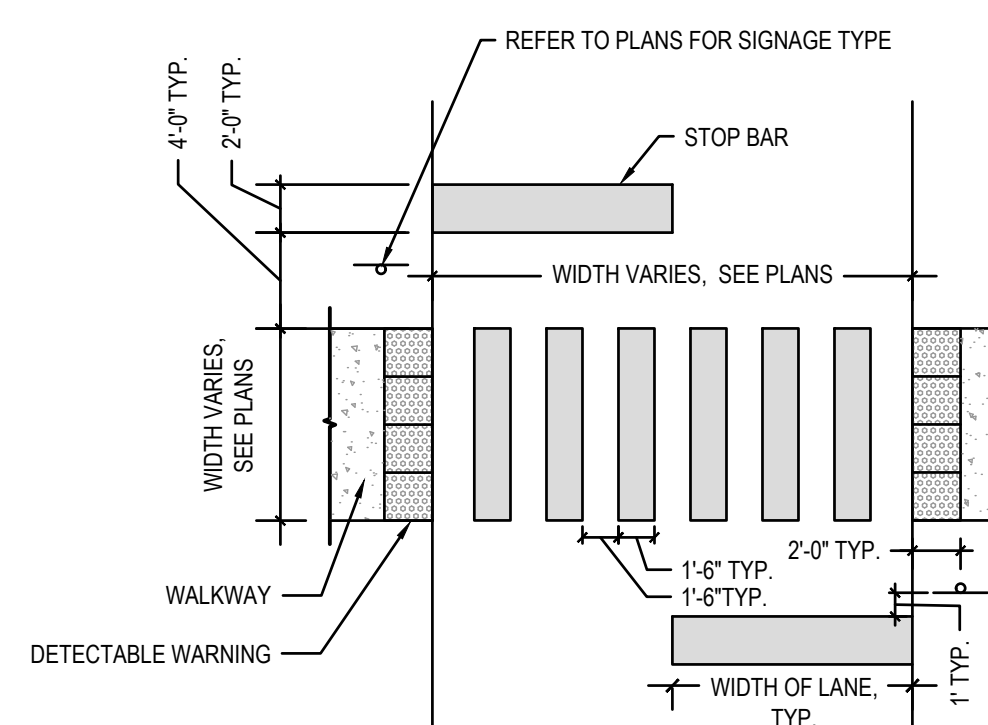
The diagram illustrates eight types of traffic signs:

- TYPE A:** A rectangular sign with a blue background and a white wheelchair symbol, indicating reserved parking for disabled accessible vehicles.
- TYPE B:** A rectangular sign with a black background and white text reading "NO PARKING" above a white arrow pointing right, indicating a no parking zone.
- TYPE C:** An octagonal sign with a black border and the word "STOP" in the center, indicating a stop sign.
- TYPE D:** A rectangular sign with a black border and white text reading "ONE WAY" above "DO NOT ENTER", indicating a one-way street with no entry.
- TYPE E:** A rectangular sign with a black border and white text reading "AUTHORIZED VEHICLES ONLY", indicating a restricted access point.
- TYPE F (R6-2L):** A rectangular sign with a black border and white text reading "ONE WAY" above a white arrow pointing left, indicating a one-way street.
- TYPE G (R6-2R):** A rectangular sign with a black border and white text reading "ONE WAY" above a white arrow pointing right, indicating a one-way street.

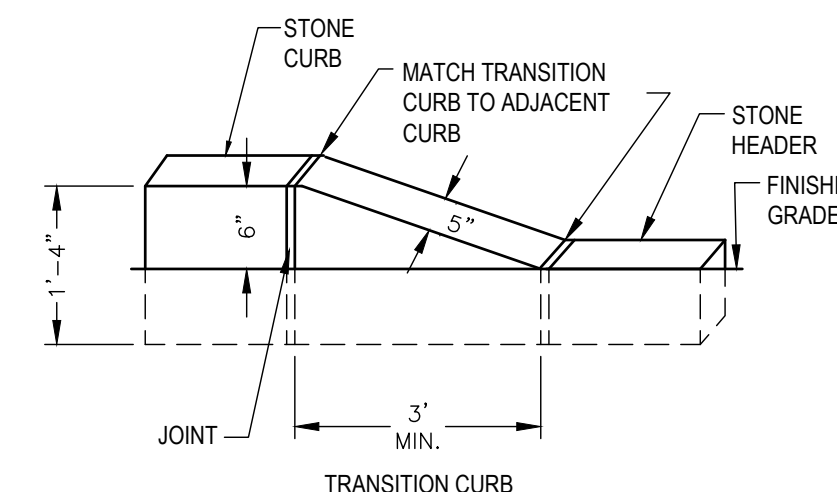
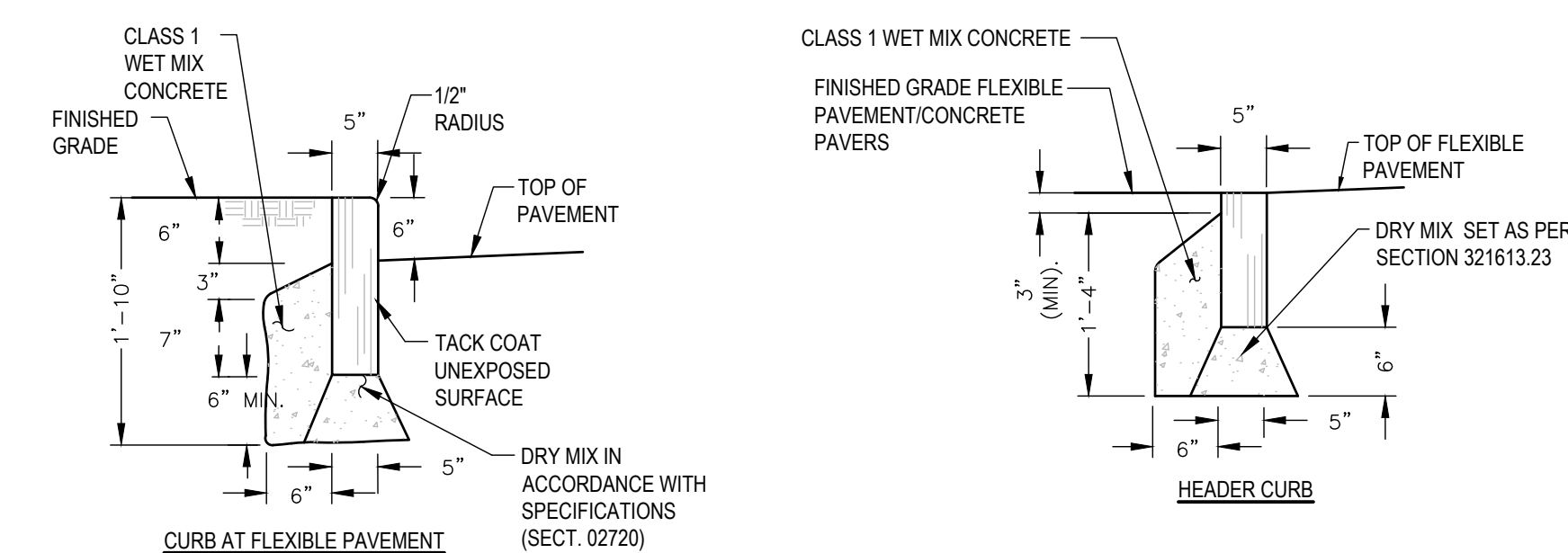
⑤ PARKING AND TRAFFIC DIRECTION SIGNS  
N.T.S.

[illegible]

⑥ TYPICAL RAMP DETAILS  
N.T.S.



7 CROSSWALK MARKINGS  
N.T.S.



8 GRANITE CURB DETAIL  
N.T.S.



A cross-sectional diagram of a road surface repair. The diagram shows a vertical cut through the road structure. On the left, a hatched area represents the 'NEW ADJACENT FULL DEPTH ASPHALT'. To its right is a layer labeled '1.5" TOP COURSE, MIXTURE 12.5'. Below these top layers is a 'BITUMINOUS SEALER' layer. The main body of the road is labeled 'EXISTING ASPHALT'. Below the asphalt is the 'EXISTING SUBBASE', and at the bottom is 'SUBBASE TYPE 2'. A vertical line marks the 'SAWCUT RESURFACE LIMIT LOCATION AS SHOWN ON PLANS'. A horizontal dimension line indicates a width of '1'-6" for the new asphalt area.

NEW ADJACENT FULL DEPTH ASPHALT

1.5" TOP COURSE, MIXTURE 12.5

SAWCUT RESURFACE LIMIT LOCATION AS SHOWN ON PLANS

1'-6"

BITUMINOUS SEALER

EXISTING ASPHALT

EXISTING SUBBASE

SUBBASE TYPE 2

**NOTES:**

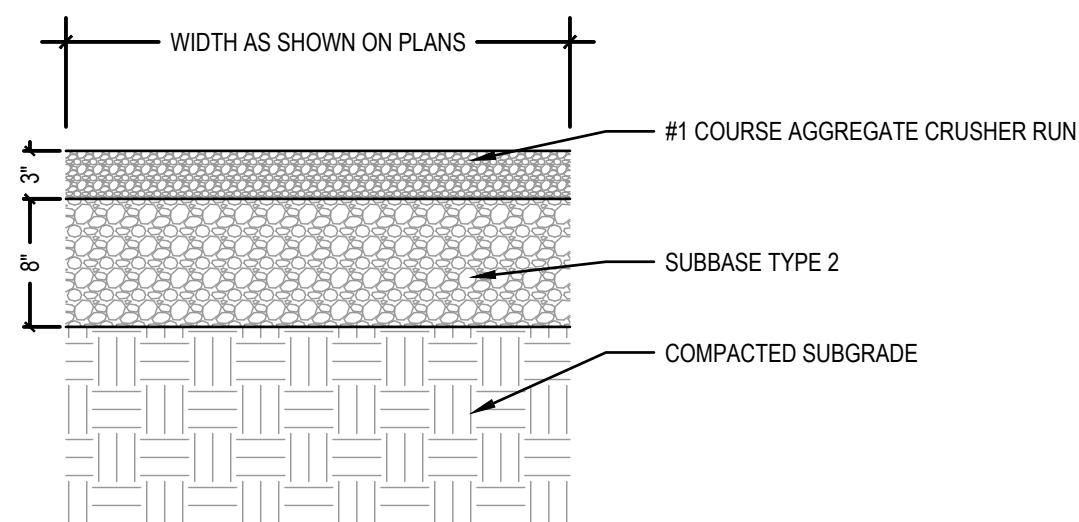
1. BASIS OF DESIGN PRODUCT: ClearSpan MPN 3:108294PN OR APPROVED EQUIVALENT
2. PRODUCT REQUIREMENTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE A PRODUCT MEETING THE FOLLOWING REQUIREMENTS:
  - 2.1. 20L X 20" W X 12' H
  - 2.2. FRAME: 1.68" GALV. STEEL PIPE
  - 2.3. COVER: 22 MIL. POLYETHYLENE
  - 2.4. COLOR: GREEN
3. ANCHOR FRAME TO CONCRETE WALLS PER MANUFACTURER'S RECOMMENDATIONS.

SEE SALT SHED SURFACE MOUNT DETAIL

The diagram shows a salt shed structure with a 20' x 20' footprint. A detail callout points to the surface mount, with the text 'SEE SALT SHED SURFACE MOUNT DETAIL'.

**NOTES:**

1. SEE PLANS FOR LOCATION AND TYPE OF JOINTS.
2. 2" MINIMUM COVERAGE AROUND DOWEL AT EXP. JOINTS.



The technical drawings illustrate the assembly of the salt storage tank. The **PLAN** view shows the top-down layout of the concrete wall, the 4" x 5.5" steel mounting footplate, the rafter leg, and the predrilled holes. The **SECTION** view shows a cross-section of the assembly, including the rafter leg, the 4" x 5.5" steel mounting footplate, the 1/4" Ø x 7" anchor core drilled and epoxied into the concrete, and the anchor bolt embedded as per the manufacturer's recommendations. A callout indicates the concrete wall is made of 1 C-805 concrete wall at salt storage.

**PLAN**

- CONCRETE WALL
- 4" x 5.5" STEEL MOUNTING FOOTPLATE
- RAFTER LEG
- PREDRILLED HOLES

**SECTION**

- RAFTER LEG
- 4" x 5.5" STEEL MOUNTING FOOTPLATE
- 1/4" Ø x 7" ANCHOR CORE DRILLED AND EPOXIED INTO CONCRETE.
- ANCHOR BOLT EMBEDDED AS PER MANUFACTURER'S RECOMMENDATIONS
- 1 C-805 CONCRETE WALL AT SALT STORAGE

**NOTES:**  
1. 2" MINIMUM CONCRETE COVERAGE ON MESH AND TIES

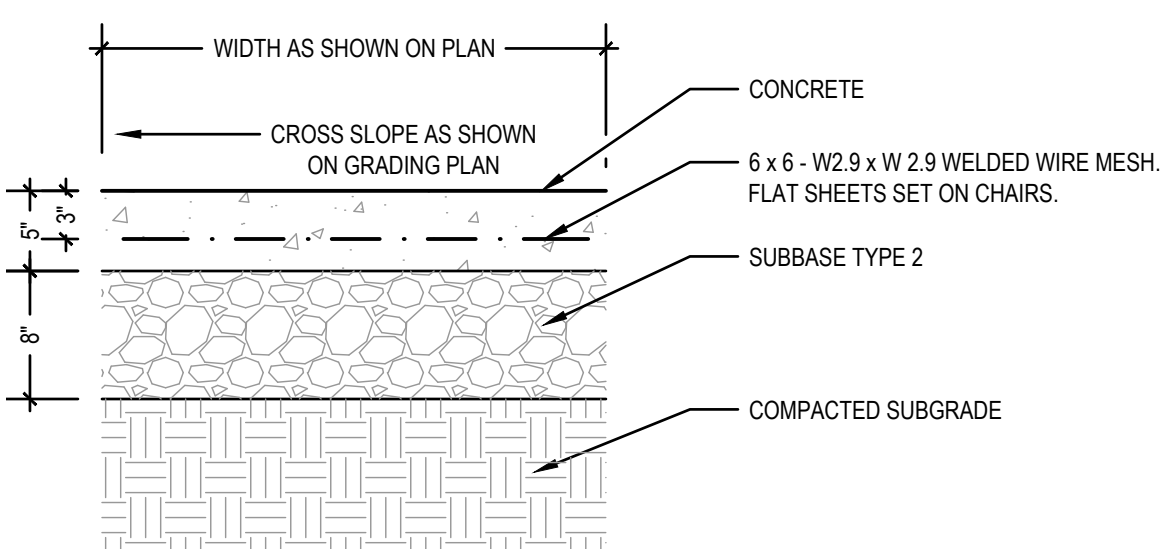


Diagram illustrating a rectangular panel with a medium broom finish. The panel is labeled with dimensions: "WIDTH AS SHOWN ON PLAN" (vertical) and "WIDTH AS SHOWN ON PLAN" (horizontal). The panel is divided into sections by "SAW CUT JOINTS" (indicated by arrows) and has a "MEDIUM BROOM FINISH" (indicated by an arrow).

**NOTES:**

1. BASIS OF DESIGN SHALL BE "TIGER TEETH, SENTINEL DOUBLE IN-GROUND WITH 20" ARMS. SEE SPECIFICATION FOR MORE INFORMATION.
2. FINISH TO BE YELLOW POLYURETHANE PAINT.

 **Office of  
General Services**

CERTIFICATE OF AUTHORIZATION #: 0229900

**FISHER**   
ASSOCIATES

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47640-C

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF  
MENTAL HEALTH

## CONSTRUCTION

|                    |                 |                |
|--------------------|-----------------|----------------|
|                    |                 |                |
|                    |                 |                |
|                    |                 |                |
|                    |                 |                |
| 11                 | 8/31/2026       | ADDENDUM #1    |
|                    | 11/28/2025      | FINAL BID DOCS |
| MARK               | DATE            | DESCRIPTION    |
| PROJECT<br>NUMBER: | 47640-C         |                |
| DESIGNED BY:       | W. HOSTETTER    |                |
| DRAWN BY:          | W. HOSTETTER    |                |
| FIELD CHECK:       | M. O'ROURKE     |                |
| APPROVED:          | B. SPRENGNETHER |                |

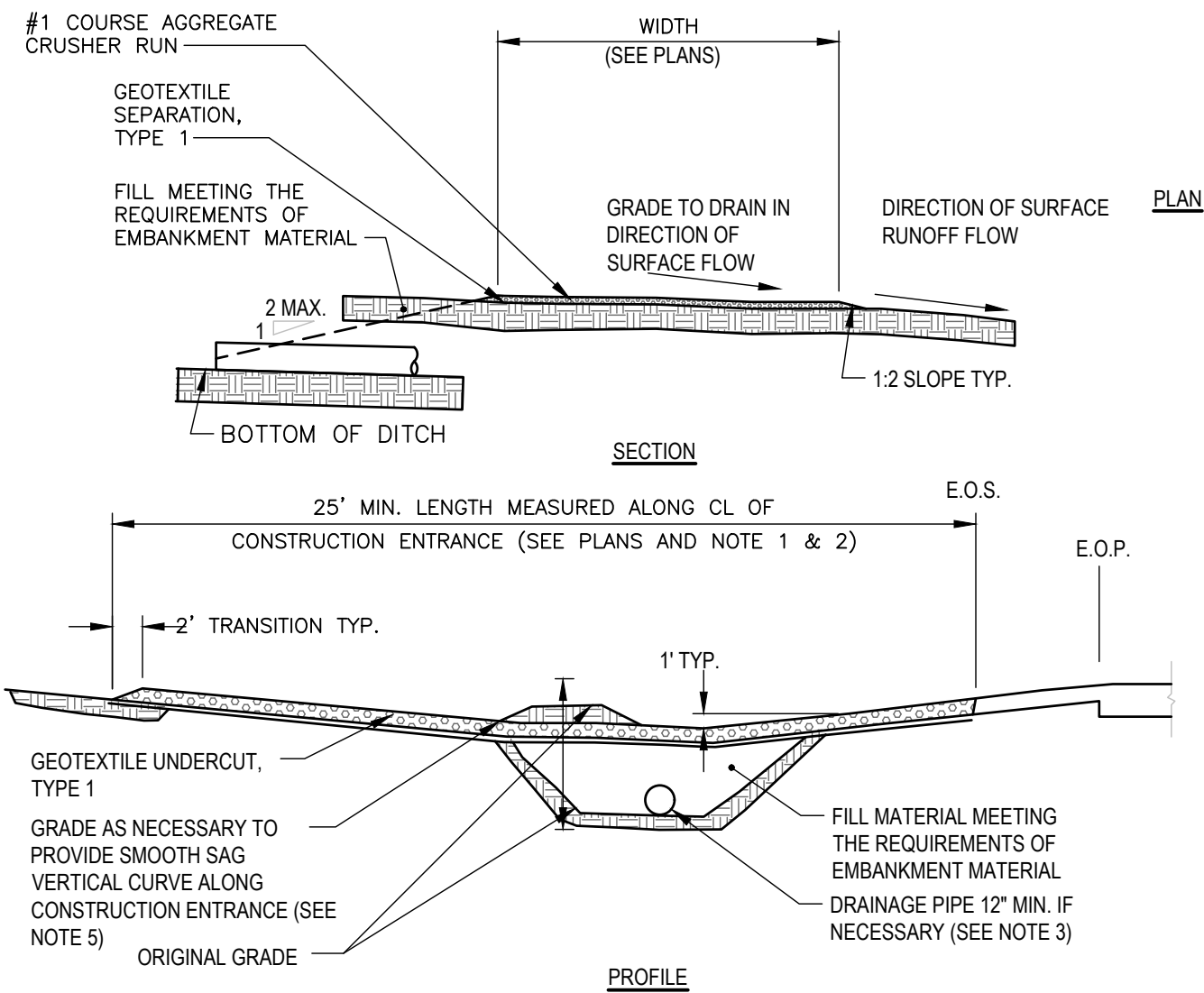
## SITE DETAILS II

C-801

OF 34 

| ENTRANCE TYPE | SKEWED ENTRANCE LAYOUT WIDTHS (W) |      |      |      |      |
|---------------|-----------------------------------|------|------|------|------|
|               | SKEW ANGLE (°)                    |      |      |      |      |
| ONE-WAY       | 60                                | 75   | 90   | 105  | 120  |
| TWO-WAY       | 14.0                              | 12.5 | 12.0 | 12.5 | 14.0 |
|               | 28.0                              | 25.0 | 24.0 | 25.0 | 28.0 |

NOTE:  
FOR CORNER ANGLES NOT SHOWN IN TABLE. SEE NYSDOT "POLICY AND STANDARDS FOR ENTRANCES TO STATE HIGHWAYS, FEBRUARY 1998", MINOR COMMERCIAL DRIVEWAYS.



#### APPLICATION NOTES:

- A. THE PURPOSE OF A STABILIZED CONSTRUCTION ENTRANCE IS TO REDUCE OR ELIMINATE THE TRACKING OF SEDIMENT ONTO ADJACENT CAMPUS STREETS.

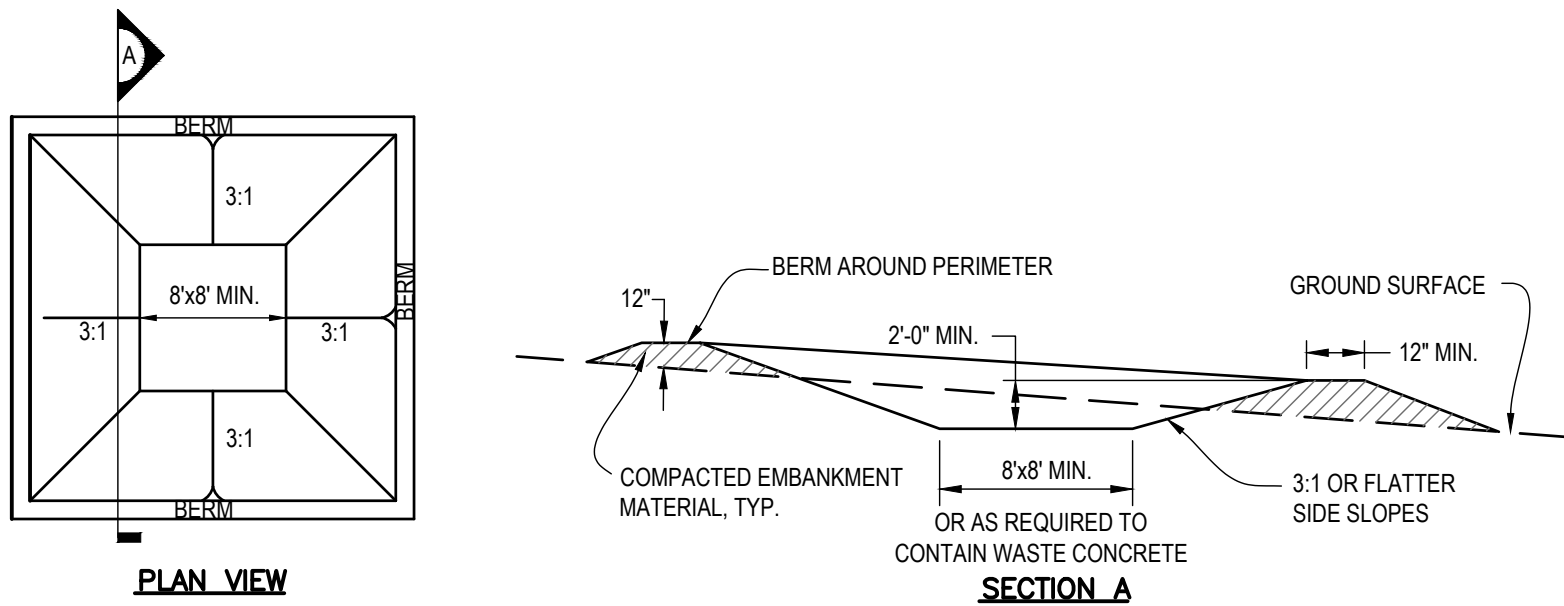
#### CONSTRUCTION SPECIFICATIONS:

- MODIFICATIONS MAY BE REQUIRED TO MATCH FIELD CONDITIONS AS DIRECTED BY THE DIRECTOR'S REPRESENTATIVE.
  - A 30' WASH AREA SHALL BE PROVIDED CENTERED ON LOW POINT OF DRIVEWAY SAG VERTICAL CURVE. ADDITIONAL GRADING MAY BE REQUIRED TO PROVIDE WASHING AREA. WASHING SHALL BE PERFORMED AS NEEDED TO PREVENT TRACKING SEDIMENT ONTO LOCAL ROADWAYS.
- PROPOSED DRAINAGE PIPES SHALL BE SIZED WITH SUFFICIENT CAPACITY TO CARRY DITCH FLOWS. ALTERNATE WAYS OF TRANSPORTING DITCH DRAINAGE ACROSS CONSTRUCTION ENTRANCES MAY BE PROPOSED BY CONTRACTOR FOR APPROVAL BY THE DIRECTOR'S REPRESENTATIVE.
- THE CONTRACTOR SHALL GRADE TO PREPARE AND SMOOTH ORIGINAL GROUND FOR PLACEMENT OF 0.50' OF #3 CRUSHED STONE ENTRANCE MATERIAL UP TO THE EDGE OF PAVEMENT.
  - THE CONTRACTOR SHALL RESTORE LAWN AND ROADWAY SHOULDER TO ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE DIRECTOR'S REPRESENTATIVE.

#### MAINTENANCE NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT PREVENTS THE TRACKING OF SEDIMENT ONTO THE CAMPUS ROADWAYS. THIS CAN BE DONE BY PROVIDING TOP DRESSING OF ADDITIONAL AGGREGATE.
- ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO THE CAMPUS OR PUBLIC ROADWAYS SHOULD BE REMOVED IMMEDIATELY.

### 1 STABILIZED CONSTRUCTION ENTRANCE N.T.S.



#### PLAN VIEW

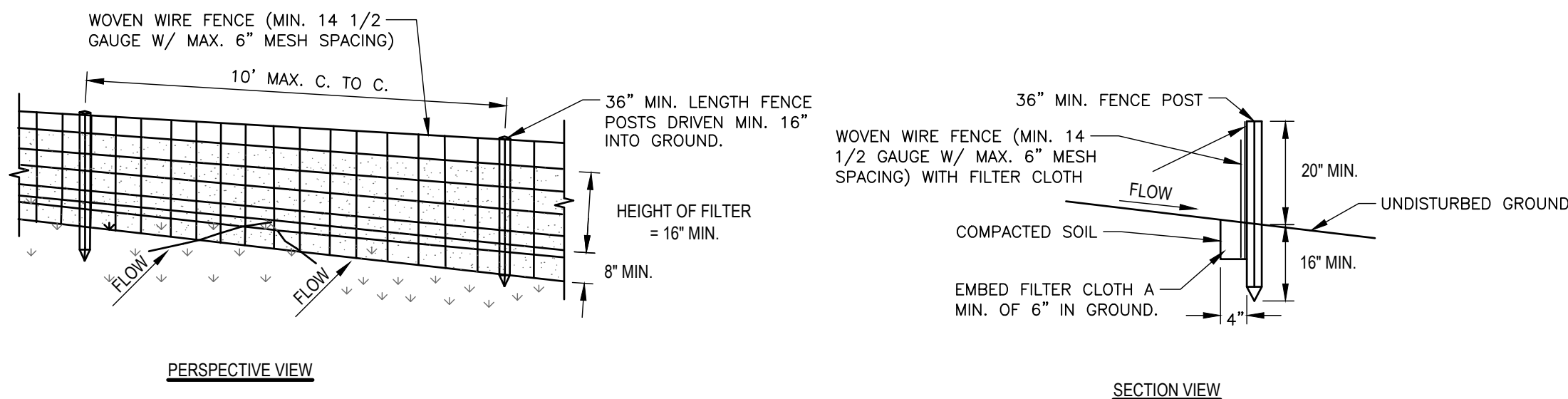
#### CONCRETE WASHOUT AREA INSTALLATION NOTES:

- CONTRACTOR TO DETERMINE LOCATION OF CONCRETE WASHOUT AREA WITHIN EACH STAGE OF CONSTRUCTION.
- THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THE SITE.
- VEHICLE TRACKING CONTROL IS REQUIRED AT THE ACCESS POINT.
- SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE WASHOUT AREA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT AREA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
- EXCAVATED MATERIAL SHALL BE UTILIZED IN PERIMETER BERM CONSTRUCTION.
- THE CONCRETE WASHOUT AREA SHALL BE SIZED APPROPRIATELY: ESTIMATE 7 GAL OF WATER PER CHUTE AND 50 GAL PER HOPPER (PUMP TRUCK).
- MINIMUM SIZE SHALL BE 8-FT X 8-FT AT THE BOTTOM. IF EXCAVATED, SIDE SLOPES SHALL BE 2H:1V.

#### CONCRETE WASHOUT AREA MAINTENANCE NOTES:

- THE CONCRETE WASHOUT AREA SHALL BE REPAIRED AND ENLARGED OR CLEANED OUT AS NECESSARY TO MAINTAIN CAPACITY FOR WASTED CONCRETE. MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY HAS BEEN FILLED.
- WHEN REMOVING CONCRETE FROM THE WASHOUT AREA, ALL CONCRETE SHALL BE REMOVED FROM THE SITE AND DISPOSED AT AN APPROVED WASTE SITE.
- WHEN THE CONCRETE WASHOUT AREA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZE IN ACCORDANCE WITH THE SWPPP PREPARED FOR THE PROJECT.
- INSPECT DAILY.

### 2 CONCRETE WASHOUT AREA N.T.S.



#### APPLICATION NOTES:

- SILT FENCE SHALL BE USED IN SMALL AREAS WITH SHEET FLOW RUNOFF TO INTERCEPT SEDIMENT AND REDUCE RUNOFF VELOCITY.
- MAXIMUM SLOPE LENGTH FOR SLOPES FLATTER THAN 5:1 SHALL BE 100 FEET.
- MAXIMUM DRAINAGE AREA TO SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100' OF FENCE.

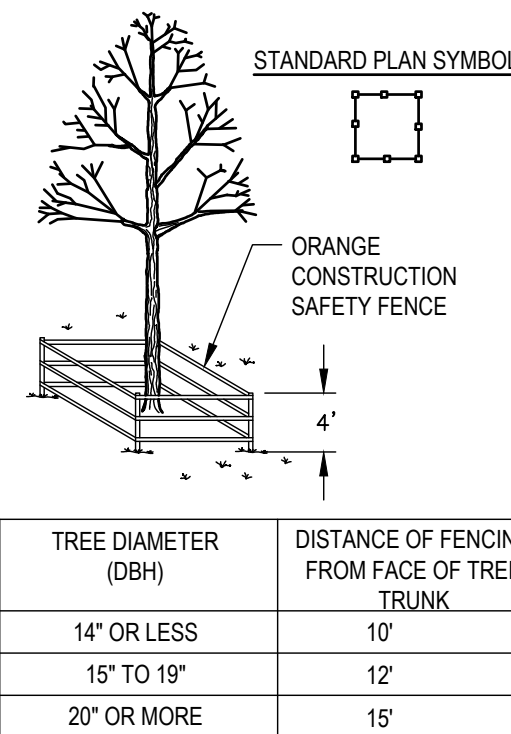
#### CONSTRUCTION SPECIFICATIONS:

- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
- POSTS SHALL BE A MINIMUM 36" LONG AND SHALL BE TYPE T OR U STEEL WEIGHING NOT LESS THAN 1.0 LBS PER SQ.FT.; OR HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- FILTER CLOTH SHALL BE FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 14 1/2 GAUGE, 6" MAXIMUM MESH SPACING.
- PREFABRICATED UNITS SHALL BE ENVIROFENCE OR APPROVED EQUAL.

#### MAINTENANCE NOTES:

- INSPECT SILT FENCE ONCE A WEEK AND AFTER RAINFALLS. REMOVE AND REPLACE THE FABRIC WHEN BULGES DEVELOP IN THE SILT FENCE.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED, REPLACE ALL SILT FENCE EVERY 9-MONTHS OR AS DIRECTED BY THE PROJECT REPRESENTATIVE.
- UPON STABILIZATION OF THE SITE REMOVE SILT FENCE SO AS NOT TO BLOCK STORM FLOW OR DRAINAGE.

### 3 SILT FENCE DETAIL N.T.S.



#### APPLICATION NOTES:

- TO PRESERVE EXISTING VEGETATION DETERMINED TO BE IMPORTANT FOR SOIL EROSION CONTROL, WATER QUALITY PROTECTION, SHADE, SCREENING, BUFFERS, WILDLIFE HABITAT, WETLAND PROTECTION, AND OTHER VALUES.

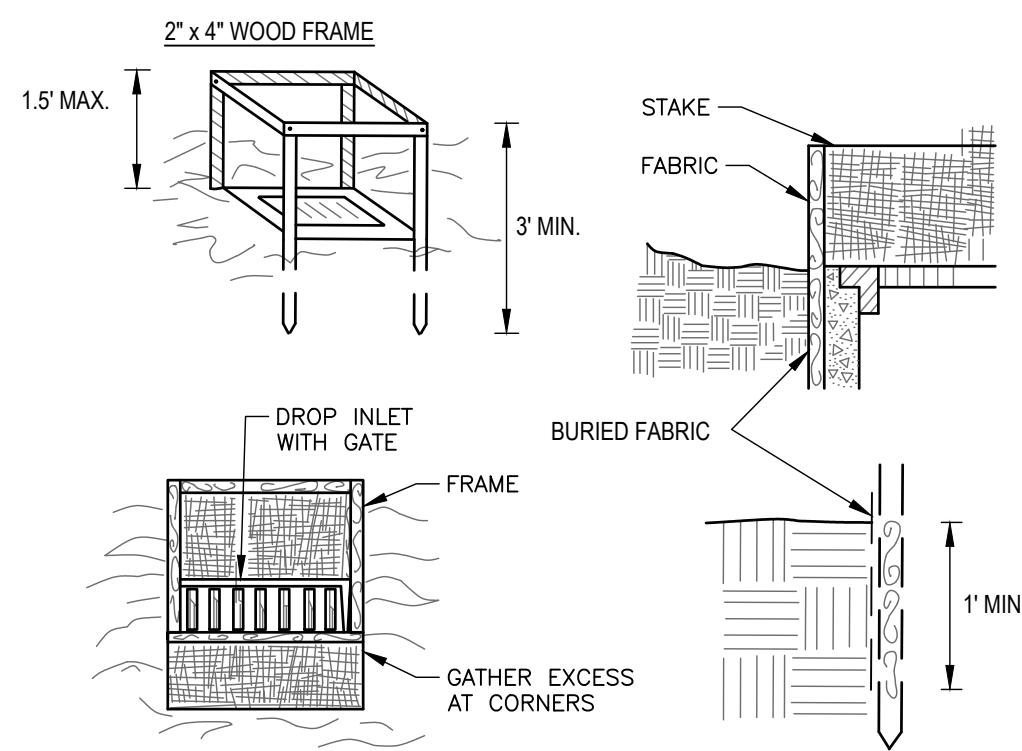
#### CONSTRUCTION SPECIFICATIONS:

- CONSTRUCT STURDY FENCE, OR BARRIER AROUND EACH TREE TO BE PRESERVED WITHIN THE DISTURBED AREA.
- PLACE FENCE AT THE DRIP LINE OF THE TREE CANOPY OR AT THE DISTANCE LISTED IN THE CHART BELOW, WHICHEVER IS GREATER.
- DO NOT LEAVE CONSTRUCTION EQUIPMENT RUNNING OR IDLING UNDER THE TREE CANOPIES.
- THERE SHALL BE NO STORAGE OF CONSTRUCTION MATERIALS BENEATH THE TREE CANOPIES.

#### MAINTENANCE NOTES:

- MAINTENANCE OF FENCES AROUND TREES AS NEEDED OR DIRECTED BY THE OWNER'S REPRESENTATIVE.
- UPON STABILIZATION OF THE SITE REMOVE THE TREE PROTECTION FENCES.

### 4 TREE PROTECTION DETAIL N.T.S.

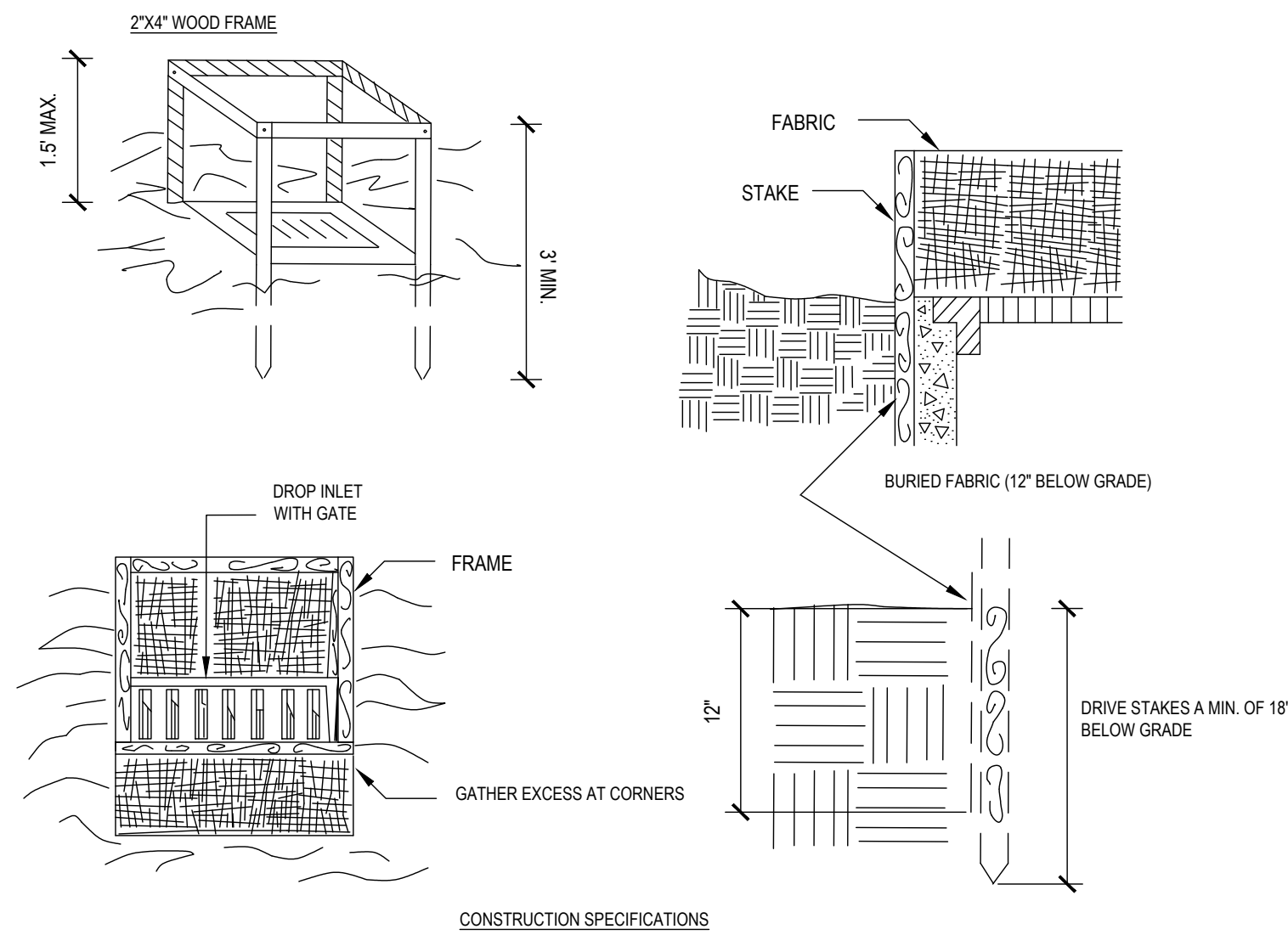


#### CONSTRUCTION SPECIFICATIONS:

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

MAXIMUM DRAINAGE AREA 1 ACRE

### 5 TYPICAL FILTER FABRIC DROP INLET PROTECTION N.T.S.



#### CONSTRUCTION SPECIFICATIONS

- FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

### 6 FILTER FABRIC DROP INLET PROTECTION DETAIL N.T.S.

#### WARNING:

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REGISTRATION EXPIRES:  
9/30/2028

#### CONTRACT:

47640-C

#### TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

#### LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

#### CLIENT:

OFFICE OF  
MENTAL HEALTH

## CONSTRUCTION

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

|                 |              |
|-----------------|--------------|
| PROJECT NUMBER: | 47640-C      |
| DESIGNED BY:    | W. HOSTETTER |
| DRAWN BY:       | W. HOSTETTER |
| FIELD CHECK:    | M. O'ROURKE  |
| APPROVED:       | G. HARVEY    |

#### DRAWING TITLE:

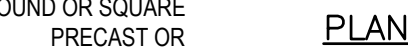
EROSION AND SEDIMENT  
CONTROL DETAILS

#### DRAWING NUMBER:

C-802



② STORM INLET MANHOLE DETAIL  
N.T.S.



③ CONNECTION TO EXISTING STRUCTURE DETAIL  
N.T.S.



④ CATCH BASIN DETAIL  
N.T.S.



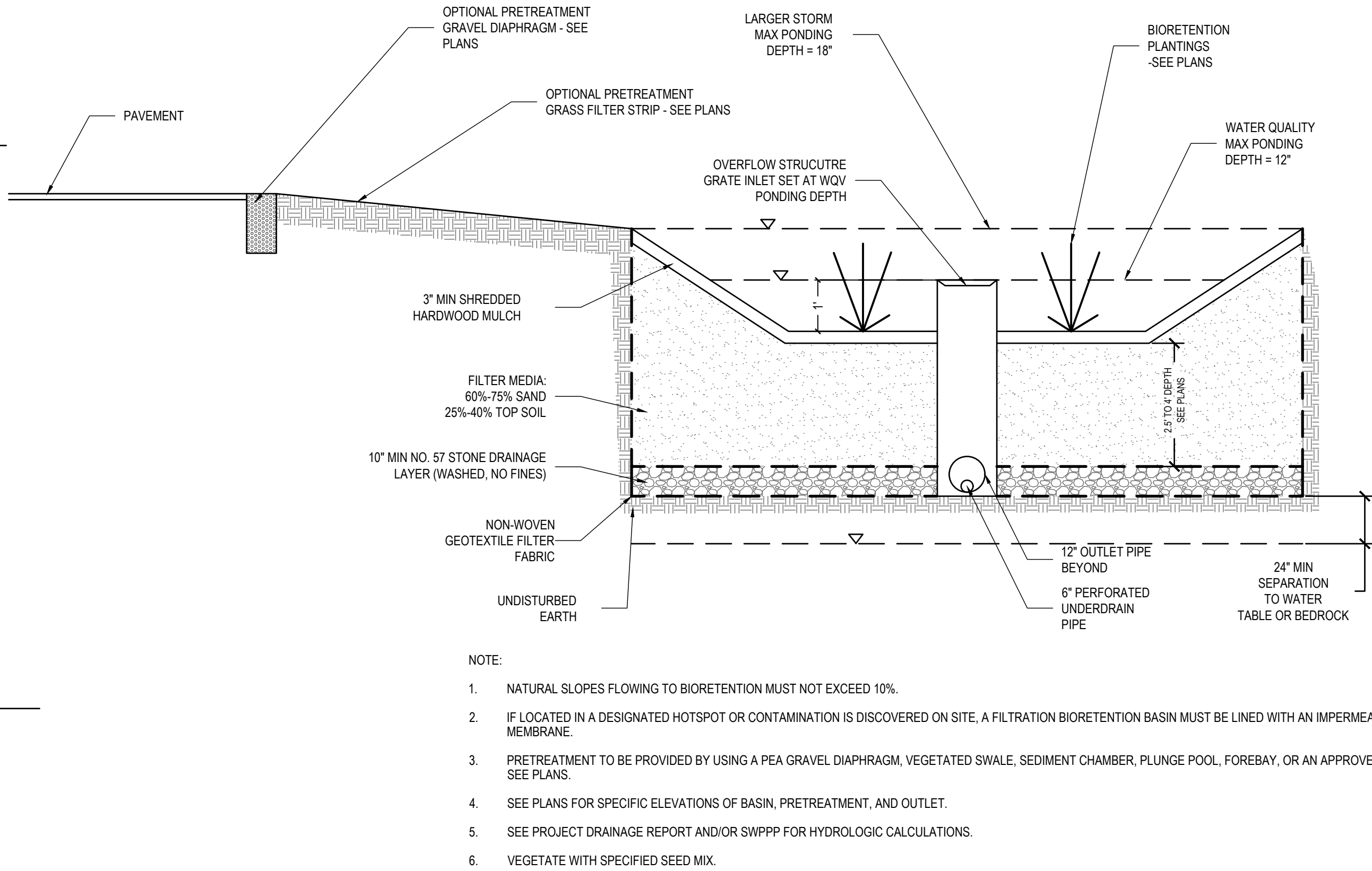
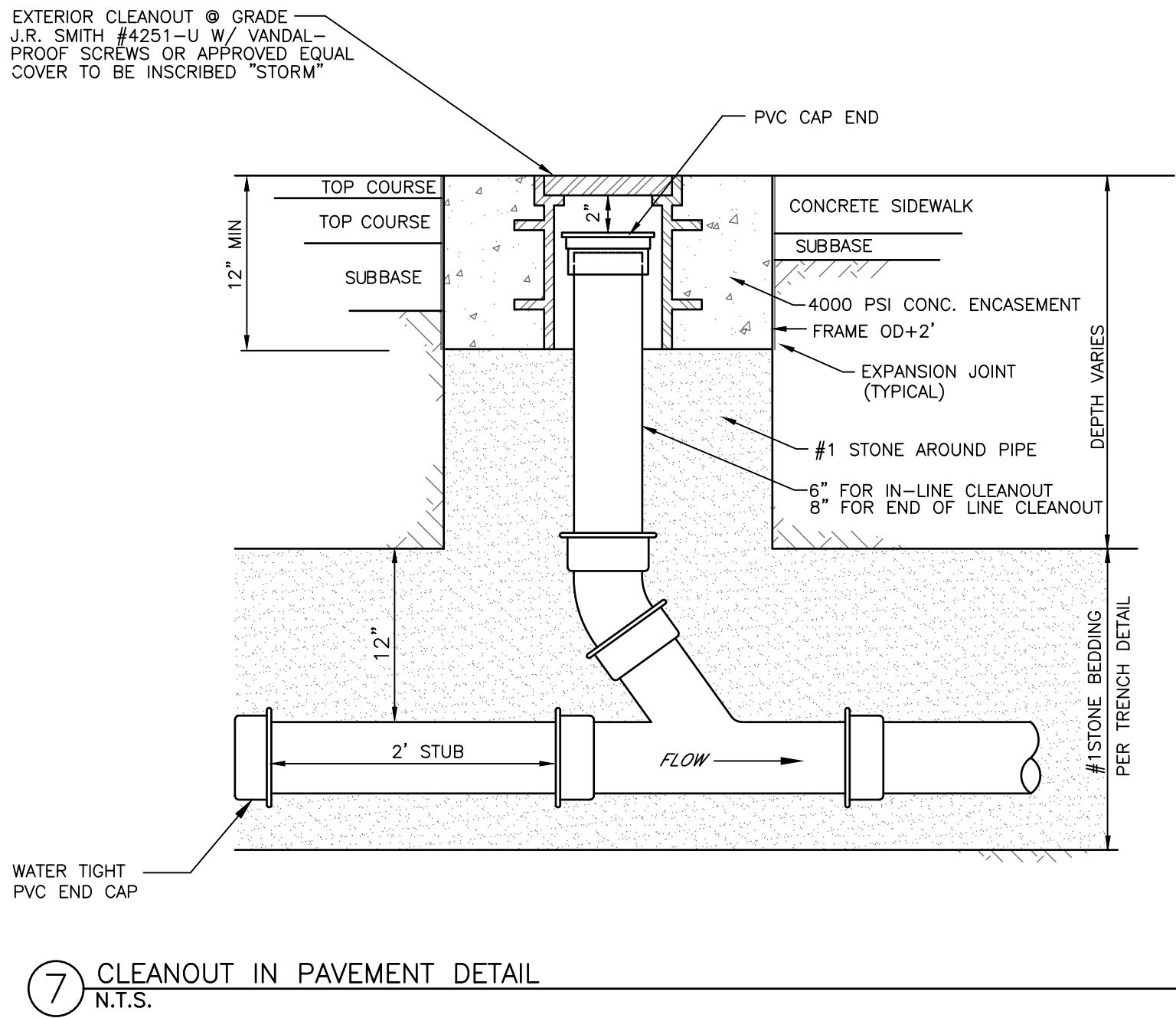
**NOTE : ALL INVERTS TO BE FLUSH WITH THE INSIDES.**

⑤ SEWER FLOW CHANNEL DETAIL  
N.T.S.



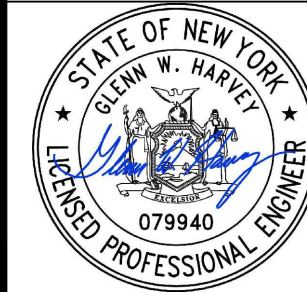
1. TRENCH BACKFILL SHALL BE AS REQUIRED BY THE HIGHWAY OWNER.
2. SELECT FILL SHALL BE SAND, GRAVEL, AND SIMILAR MATERIAL WHICH SHALL BE FREE FROM CLAY, LOAM, ORGANIC MATERIAL, DEBRIS, FROZEN MATERIAL AND SHALL CONTAIN ONLY SMALL AMOUNTS OF STONE, PEBBLES, OR LUMPS OVER ONE INCH IN GREATEST DIMENSION, BUT NONE OVER TWO INCHES IN GREATEST DIMENSION.
3. STONE BEDDING SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, "CRUSHED STONE", PRIMARY SIZE 1 OR A MIXTURE OF PRIMARY SIZE 1 AND 2, WASHED.
4. COARSE AGGREGATE SHALL MEAN APPROVED IMPORTED AGGREGATE MEETING THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATION, "CRUSHED STONE", PRIMARY SIZE 3 OR A MIXTURE OF PRIMARY SIZE 3 AND 4.
5. SELECT BACKFILL SHALL BE USED FOR ALL UTILITIES INSTALLED WITHIN PAVED AREAS.

6 BEDDING DETAIL  
N.T.S.



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REGISTRATION EXPIRES:  
9/30/2028

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

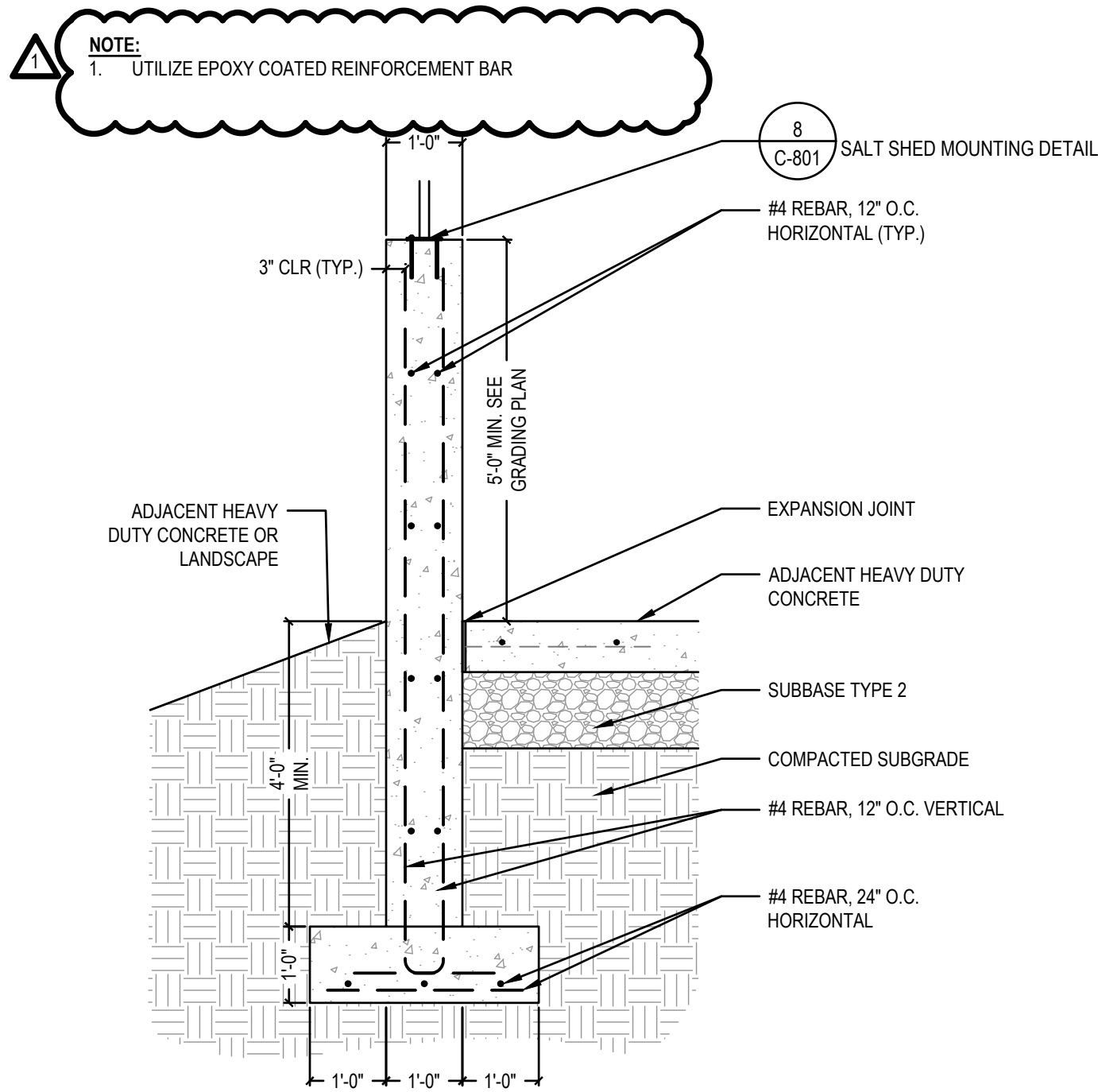
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| 1               | 8/21/2026    | ADDENDUM #1    |
|                 | 11/28/2025   | FINAL BID DOCS |
| MARK            | DATE         | DESCRIPTION    |
| PROJECT NUMBER: | 47640-C      |                |
| DESIGNED BY:    | W. HOSTETTER |                |
| DRAWN BY:       | W. HOSTETTER |                |
| FIELD CHECK:    | M. O'ROURKE  |                |
| APPROVED:       | G. HARVEY    |                |

DRAWING TITLE:

STORMWATER  
MANAGEMENT DETAILS

DRAWING NUMBER:

C-804



1 CONCRETE WALL AT SALT STORAGE  
Scale: 1/2"=1'-0"



WARNING:

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REGISTRATION EXPIRES:  
8/31/2027

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

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| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

PROJECT NUMBER: 47640-C

DESIGNED BY: W. HOSTETTER

DRAWN BY: W. HOSTETTER

FIELD CHECK: M. O'ROURKE

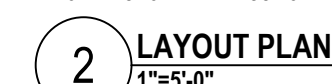
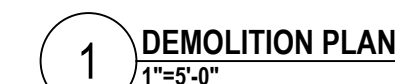
APPROVED: P. MINNAUGH

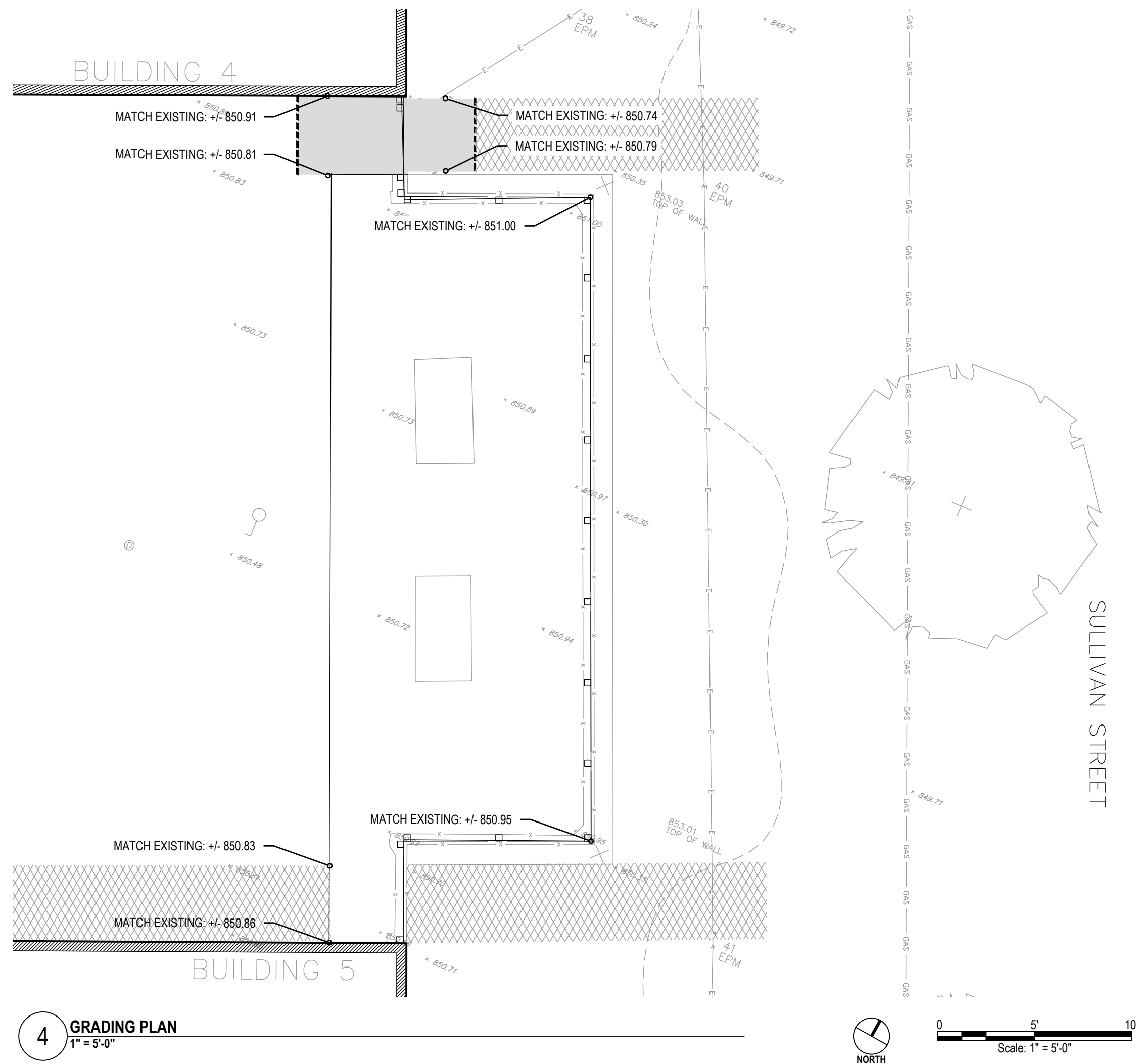
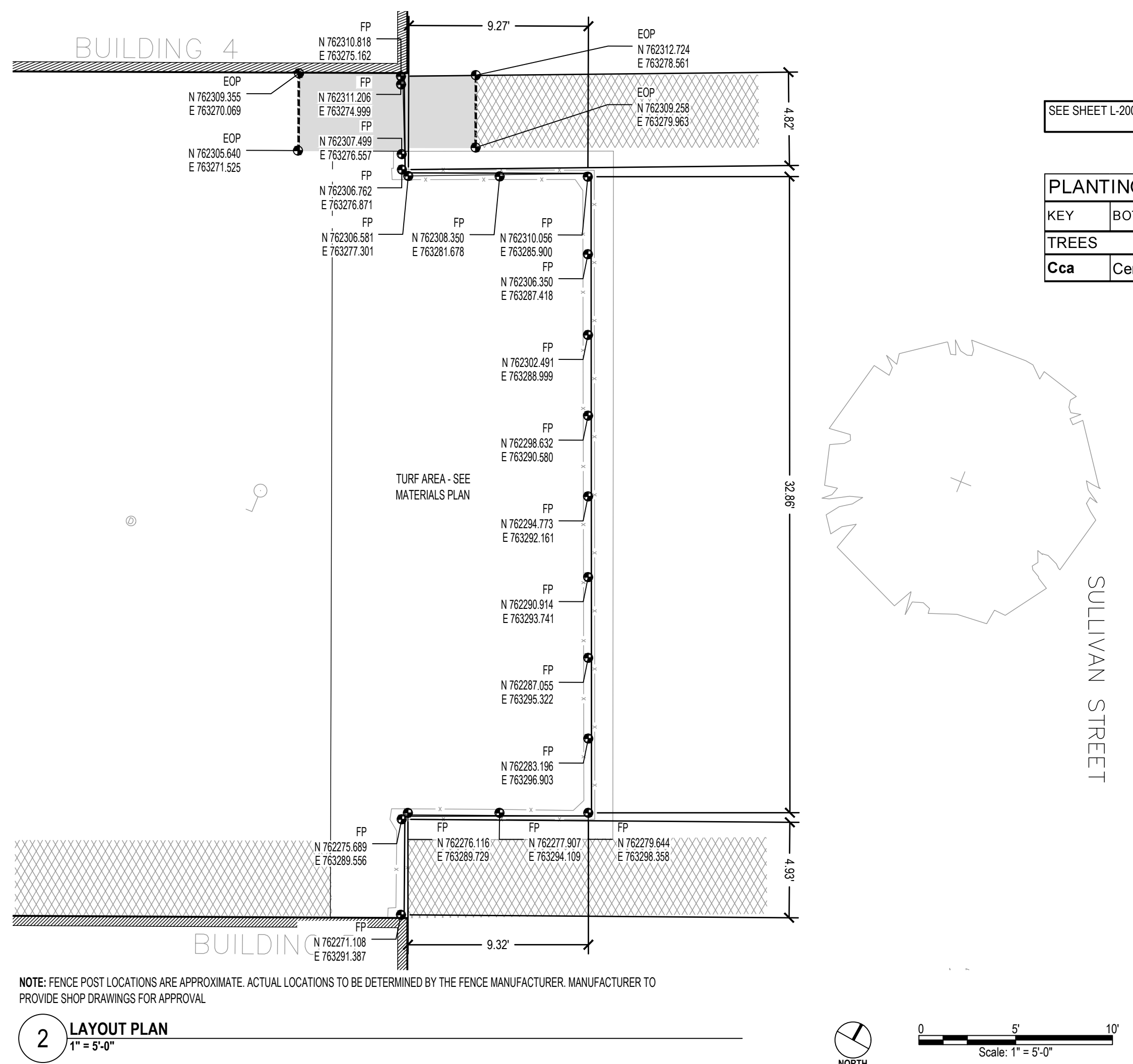
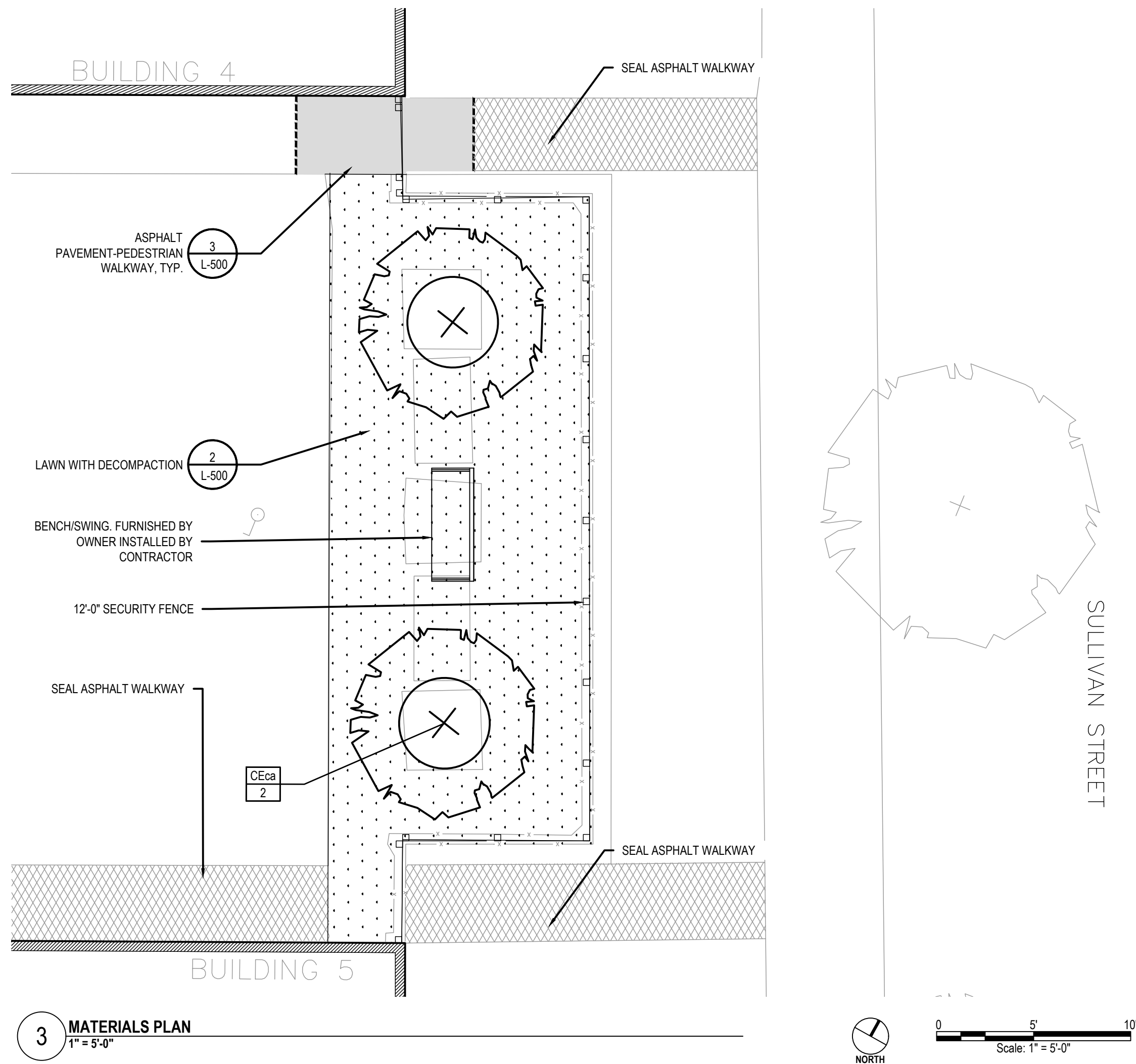
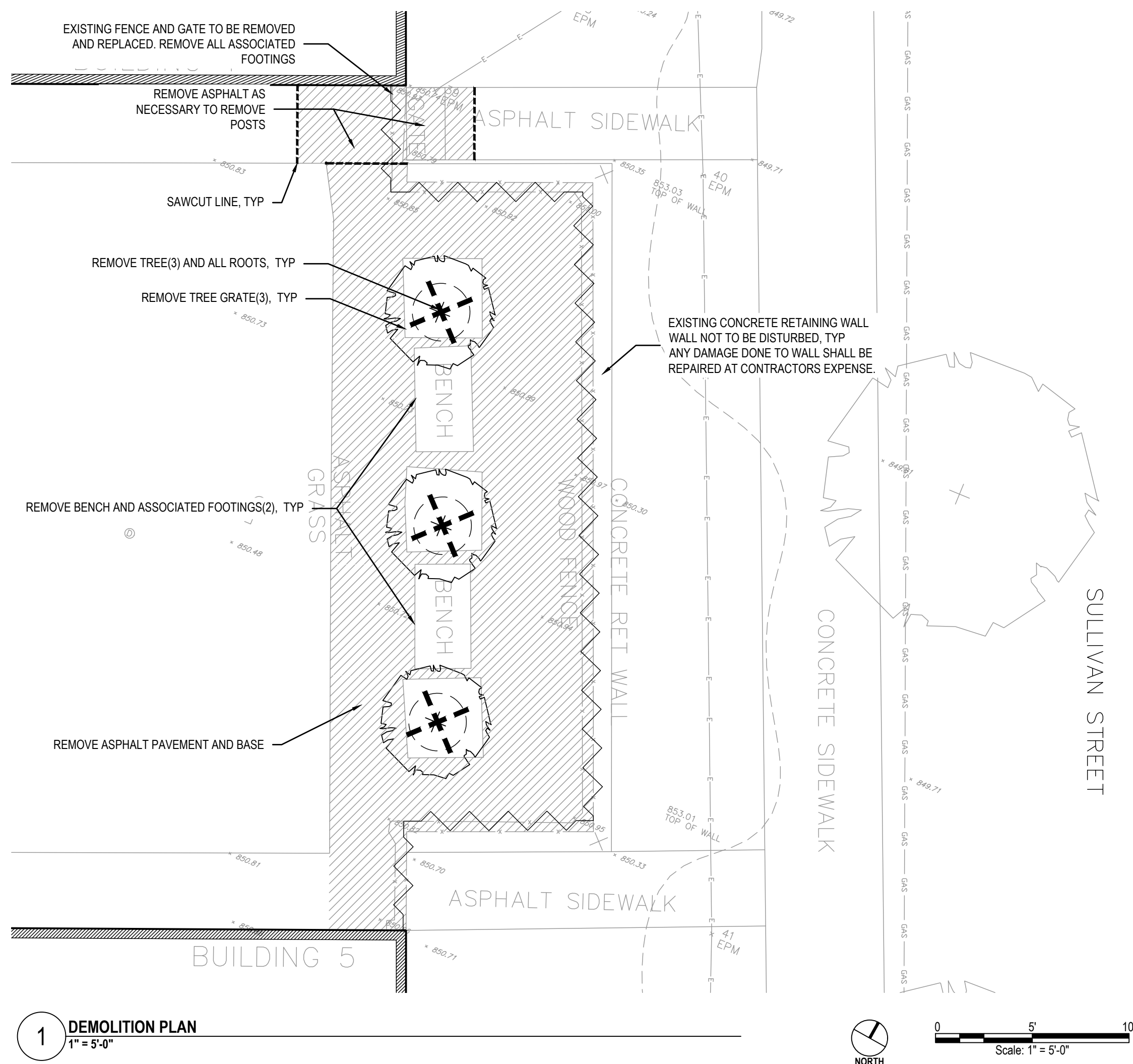
DRAWING TITLE:

STRUCTURAL DETAILS

DRAWING NUMBER:

C-805





SEE SHEET L-200 FOR NOTES.

| PLANTING SCHEDULE |                   |                |      |       |              |
|-------------------|-------------------|----------------|------|-------|--------------|
| KEY               | BOTANICAL NAME    | COMMON NAME    | QNTY | UNIT  | SIZE         |
| TREES             |                   |                |      |       |              |
| Cca               | Cercis canadensis | Eastern Redbud | 2    | B + B | 2.5"-3" CAL. |

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REGISTRATION EXPIRES: 01/31/2029

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

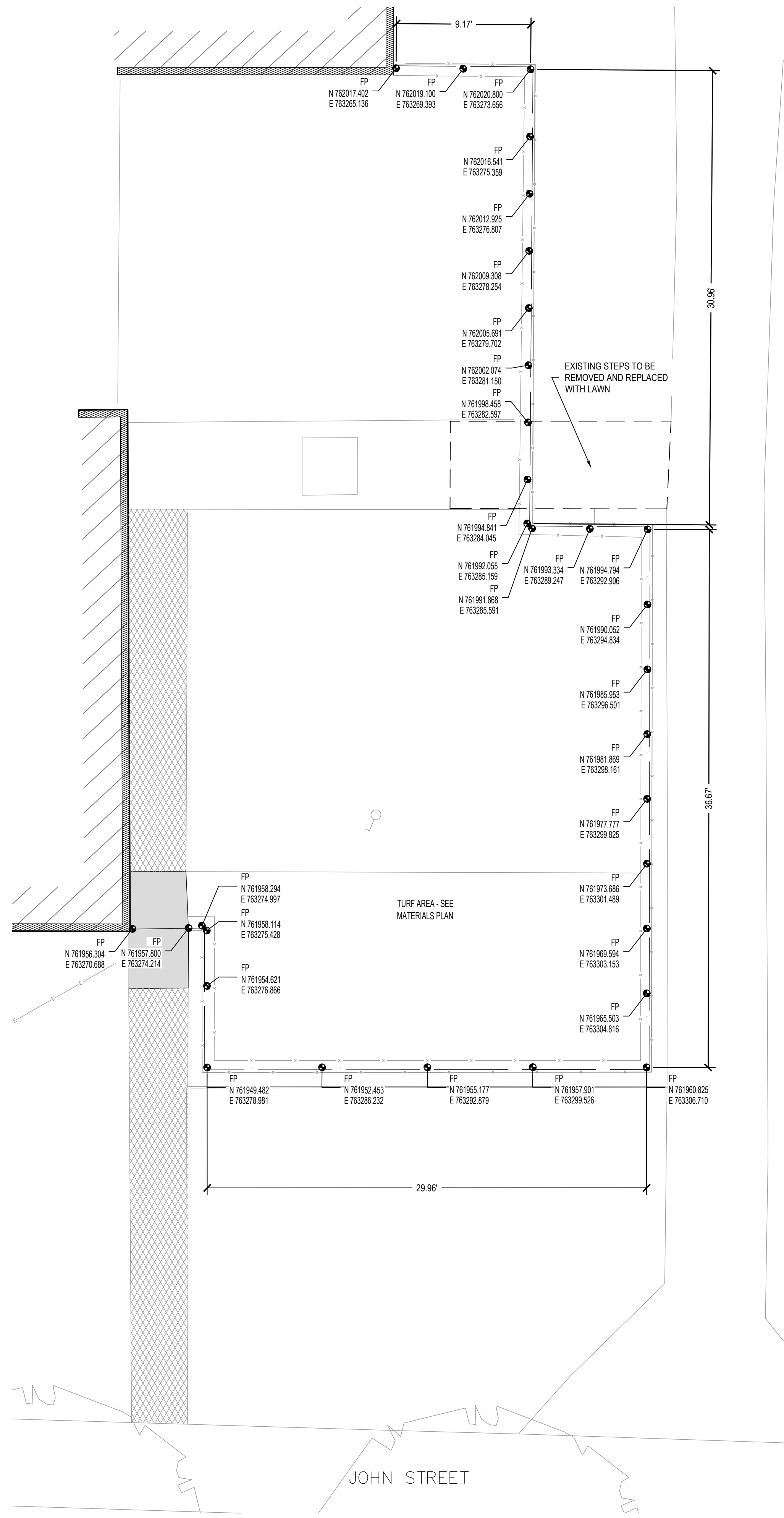
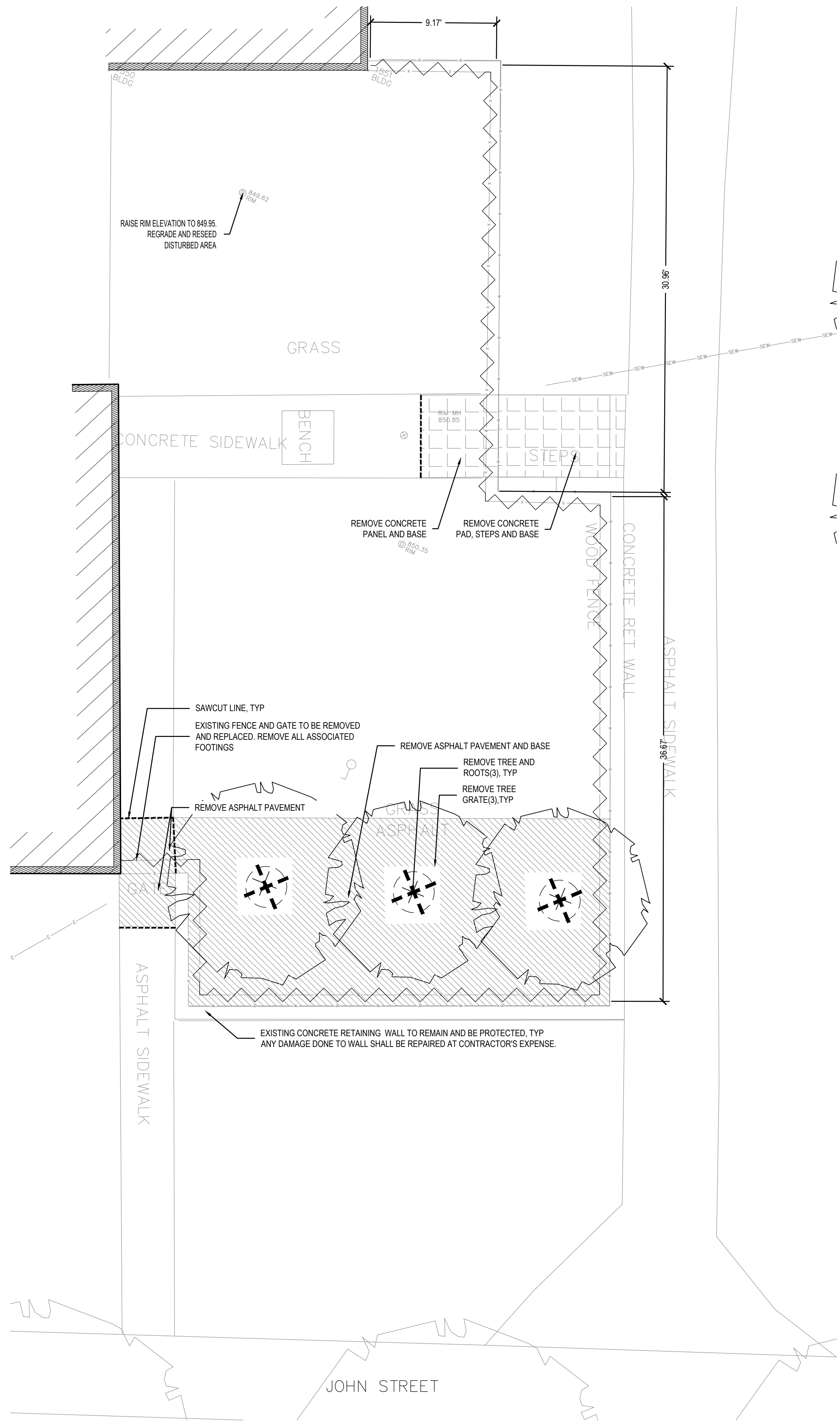
LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

|                                                                                                |                 |                |
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| 1                                                                                              | 8/21/2026       | ADDENDUM #1    |
|                                                                                                | 11/28/2025      | FINAL BID DOCS |
| MARK                                                                                           | DATE            | DESCRIPTION    |
| PROJECT<br>NUMBER:                                                                             | 47640-C         |                |
| DESIGNED BY:                                                                                   | M. SWERCEWSKI   |                |
| DRAWN BY:                                                                                      | M. SWERCEWSKI   |                |
| FIELD CHECK:                                                                                   | M. O'ROURKE     |                |
| APPROVED:                                                                                      | B. SPRENGNETHER |                |
| DRAWING TITLE:<br><br>FENCE REPLACEMENT<br>SITE 2 DEMO, LAYOUT,<br>MATERIALS & GRADING<br>PLAN |                 |                |
| DRAWING NUMBER:<br><br>L-201                                                                   |                 |                |
| DRAWING 25 OF 34                                                                               |                 |                |

Aug. 21, 2026 - 12:03pm  
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36x24 PLOT SHEET



WARNING:

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REGISTRATION EXPIRES:  
01/31/2029

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

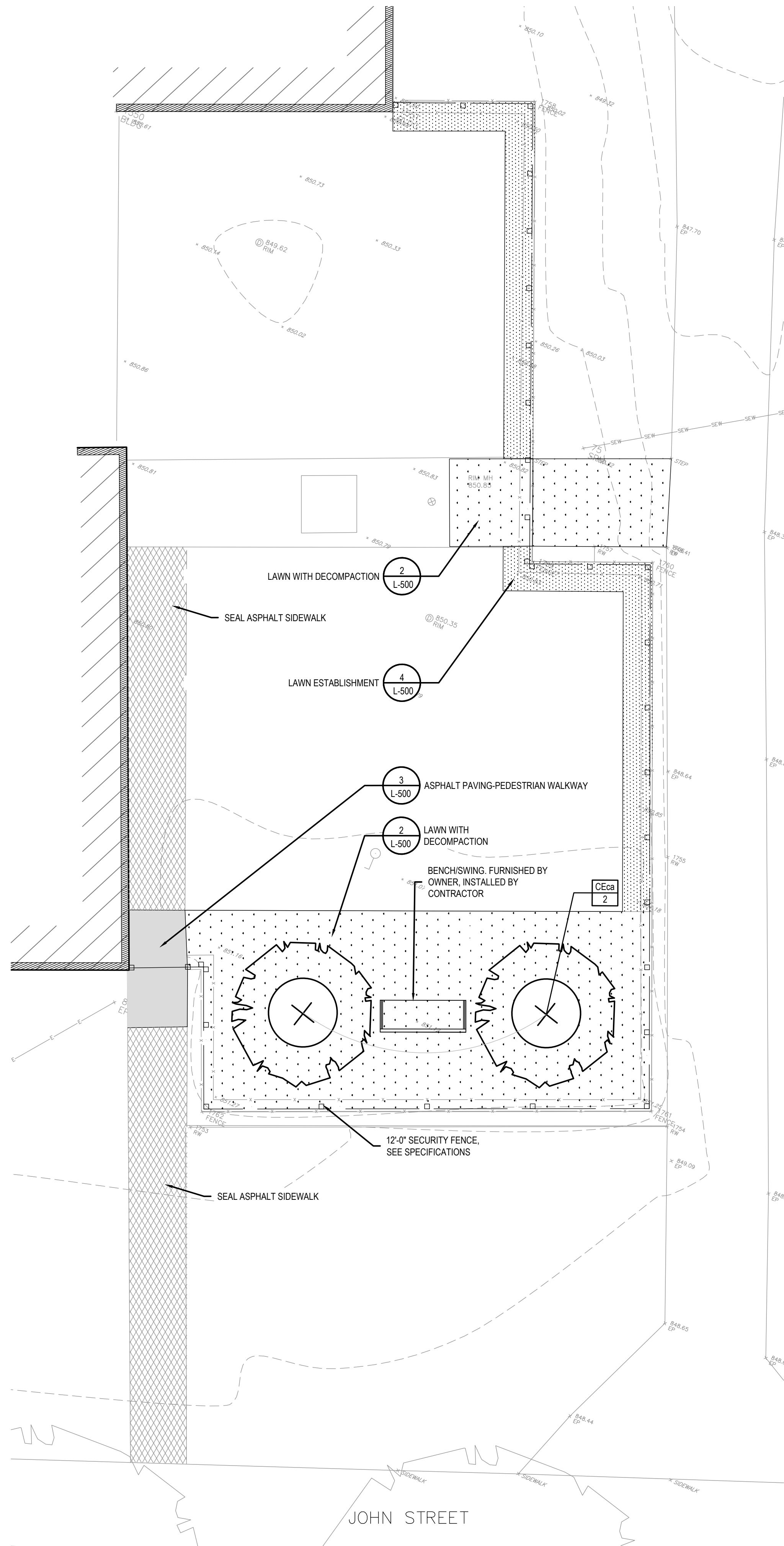
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| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

|                 |               |
|-----------------|---------------|
| PROJECT NUMBER: | 47640-C       |
| DESIGNED BY:    | M. SWERCEWSKI |
| DRAWN BY:       | M. SWERCEWSKI |
| FIELD CHECK:    | M. O'ROURKE   |
| APPROVED:       | B. SPRENGNETH |

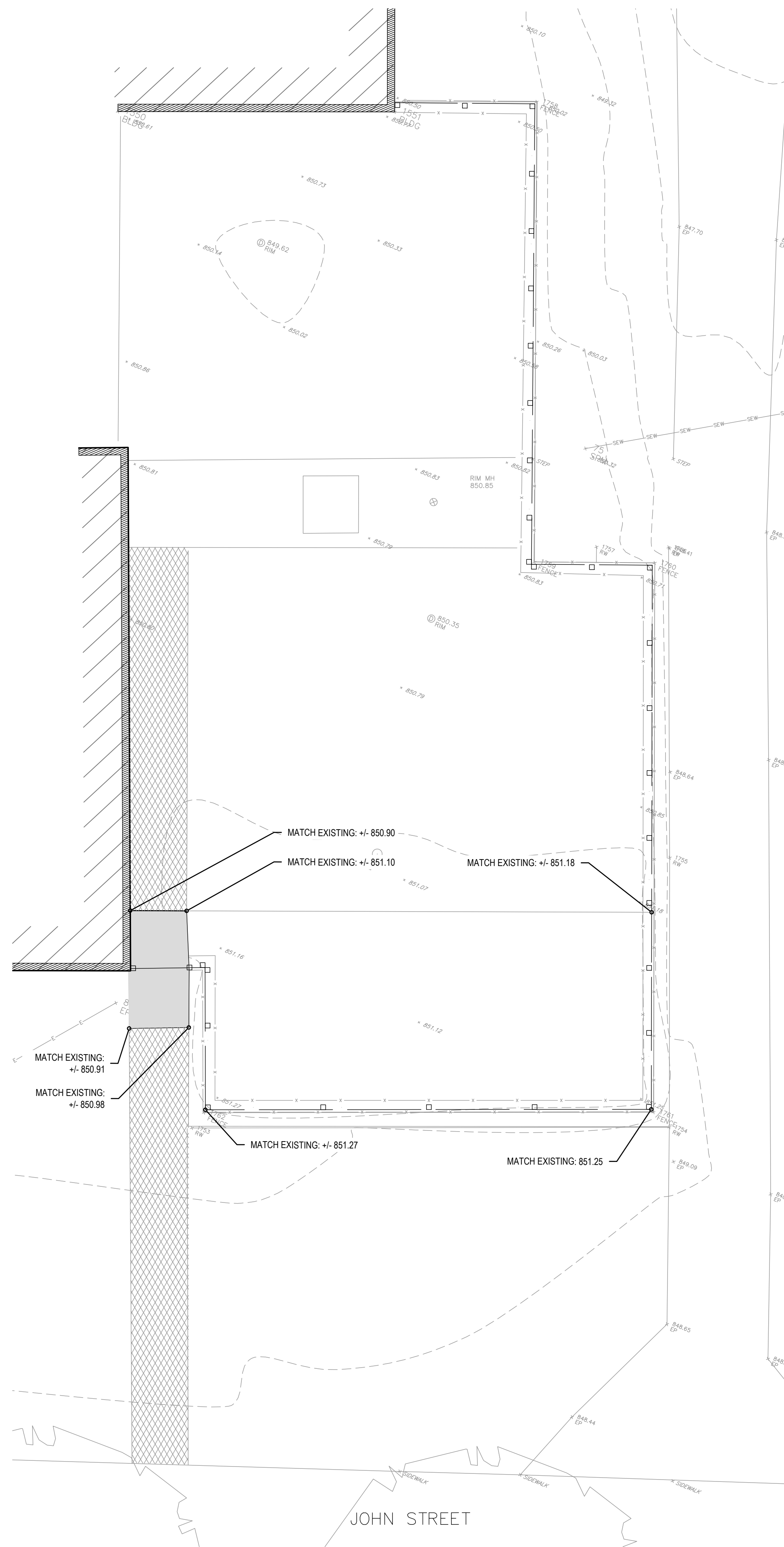
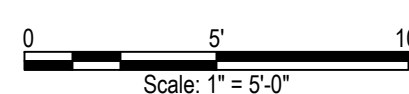
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FENCE REPLACEMENT  
SITE 3 DEMO, LAYOUT,  
MATERIALS & GRADING  
PLAN

DRAWING NUMBER:  
L-202

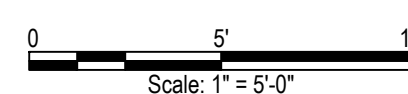
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36x24 PLOT SHEET



1 MATERIALS PLAN  
1" = 5'-0"



2 GRADING PLAN  
1" = 5'-0"



SEE SHEET L-200 FOR NOTES.

PLANTING SCHEDULE

| KEY   | BOTANICAL NAME    | COMMON NAME    | QNTY | UNIT  | SIZE         |
|-------|-------------------|----------------|------|-------|--------------|
| TREES |                   |                |      |       |              |
| Cca   | Cercis canadensis | Eastern Redbud | 2    | B + B | 2.5"-3" CAL. |

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REGISTRATION EXPIRES: 01/31/2029

CONTRACT:

47640-C

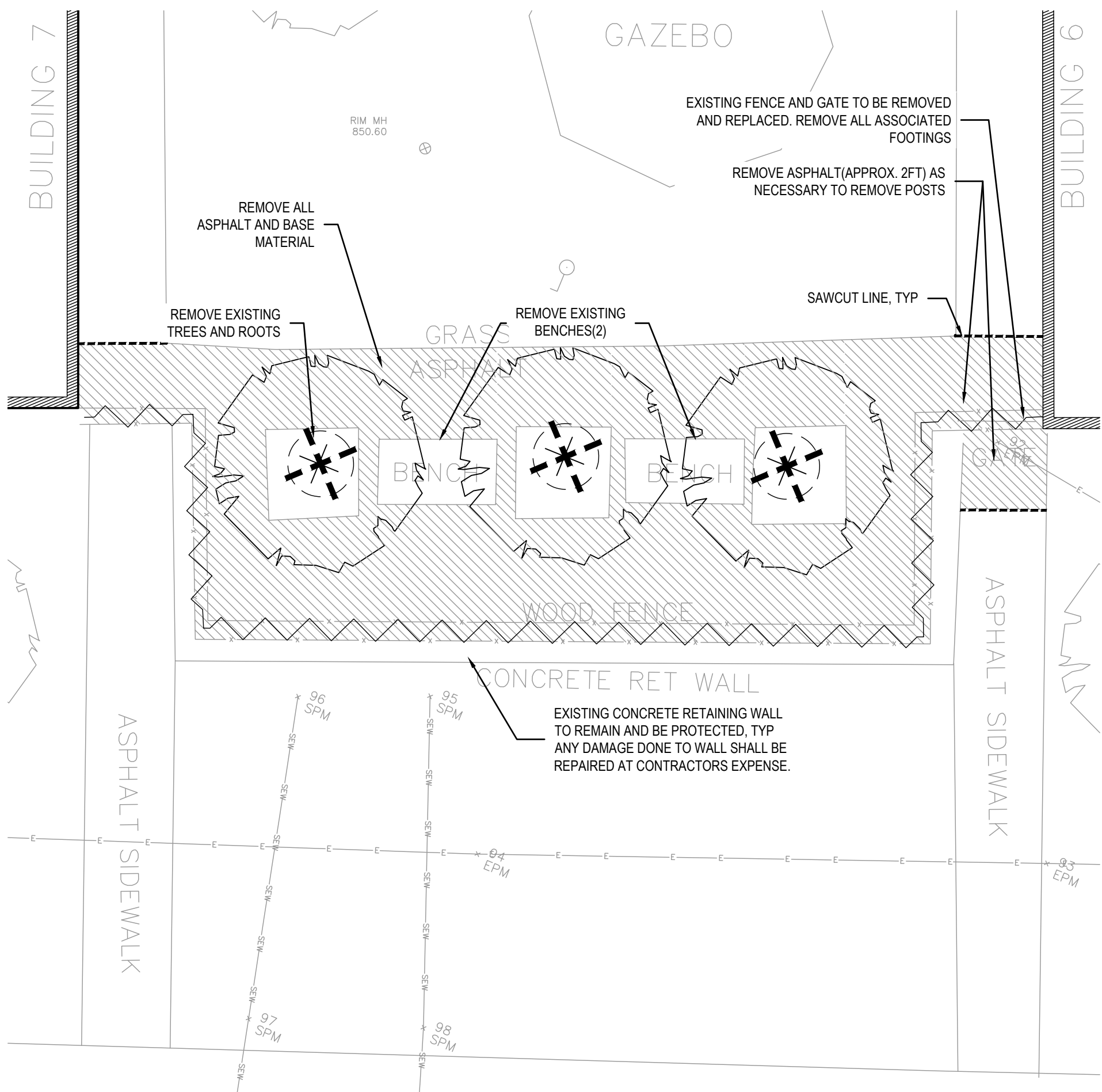
TITLE:  
REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:  
ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

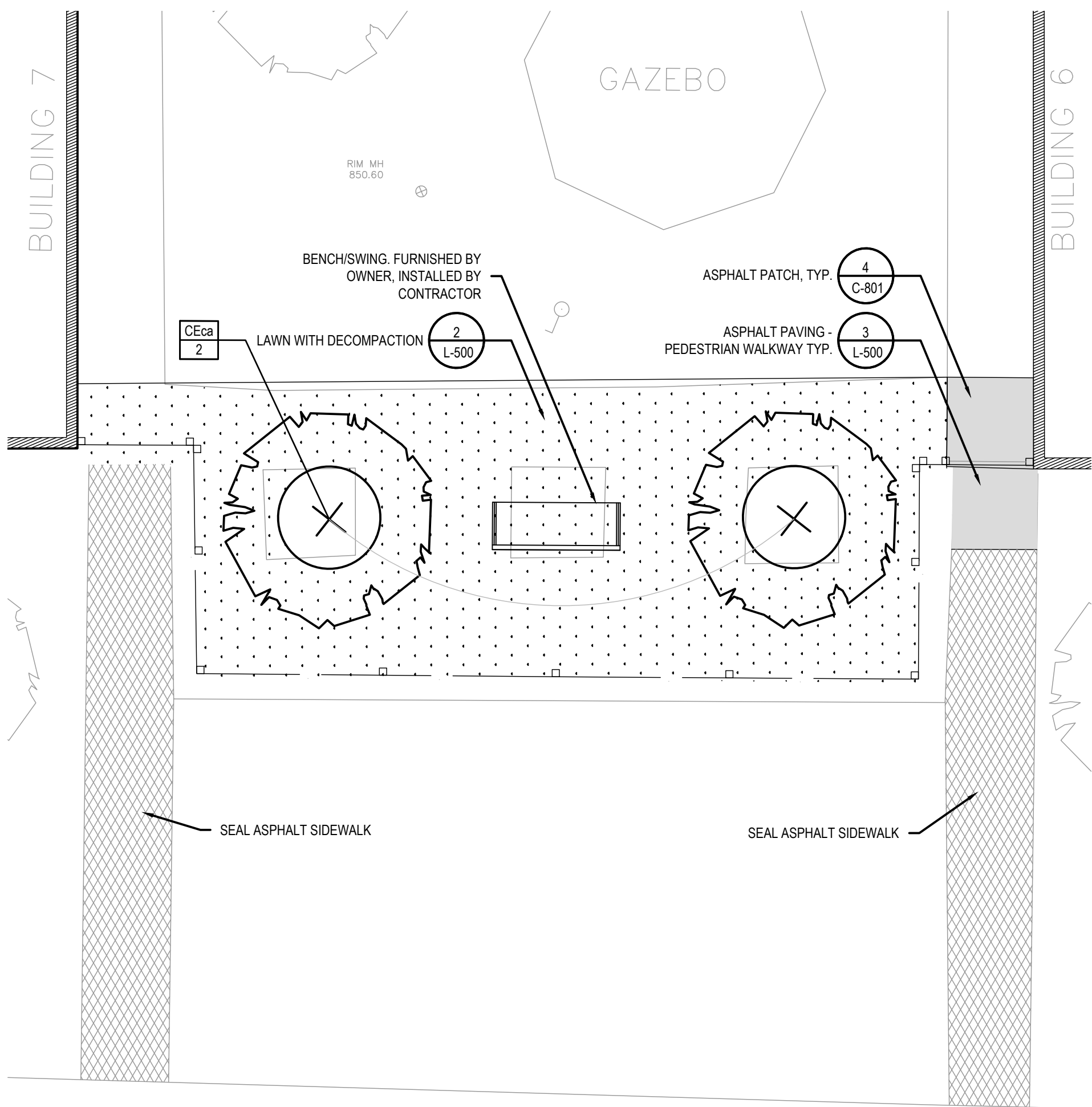
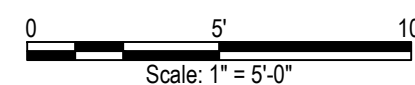
CLIENT:  
OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

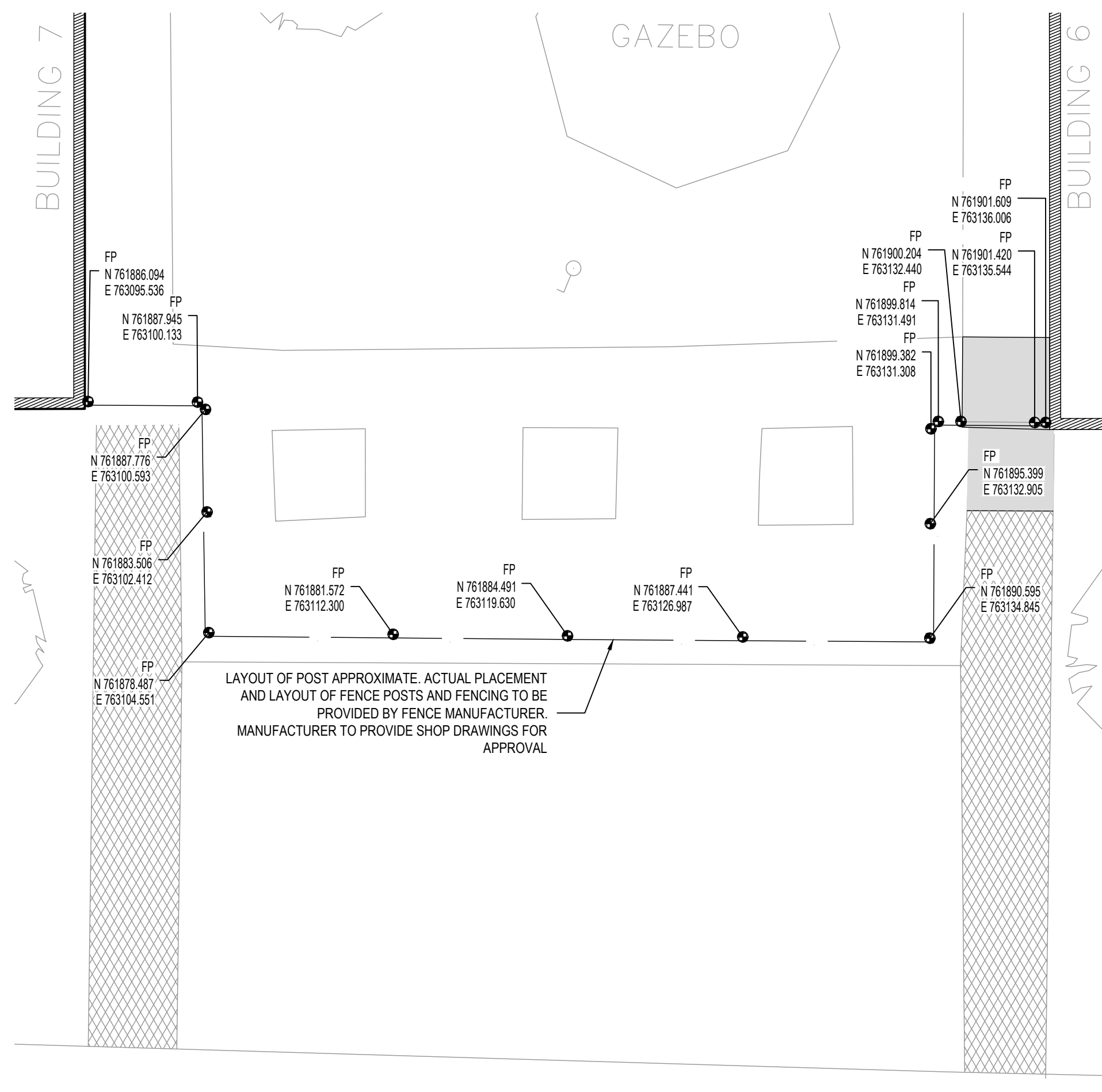
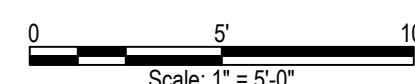
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| 1               | 8/21/2026                                               | ADDENDUM #1    |
|                 | 11/28/2025                                              | FINAL BID DOCS |
| MARK            | DATE                                                    | DESCRIPTION    |
| PROJECT NUMBER: | 47640-C                                                 |                |
| DESIGNED BY:    | M. SWERCEWSKI                                           |                |
| DRAWN BY:       | M. SWERCEWSKI                                           |                |
| FIELD CHECK:    | M. O'ROURKE                                             |                |
| APPROVED:       | B. SPRENGNETHET                                         |                |
| DRAWING TITLE:  | FENCE REPLACEMENT SITE<br>3 MATERIALS &<br>GRADING PLAN |                |
| DRAWING NUMBER: | L-203                                                   |                |



1 DEMOLITION PLAN  
1" = 5'-0"

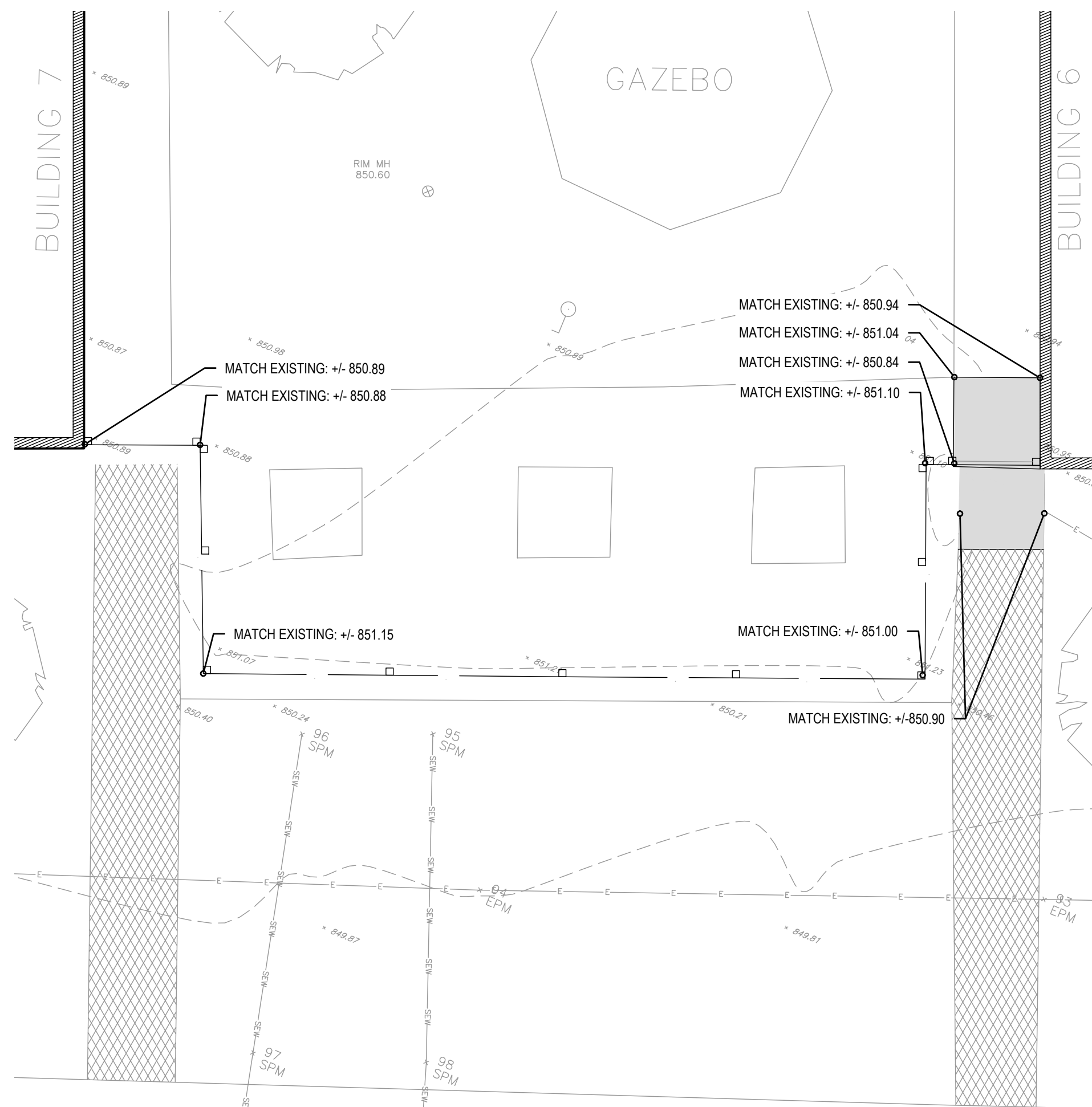
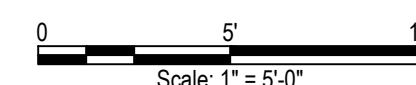


3 MATERIALS PLAN  
1" = 5'-0"

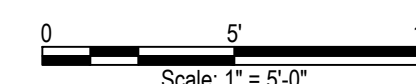


NOTE: FENCE POST LOCATIONS ARE APPROXIMATE. ACTUAL LOCATIONS TO BE DETERMINED BY THE FENCE MANUFACTURER. MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR APPROVAL

2 LAYOUT PLAN  
1" = 5'-0"



4 GRADING PLAN  
1" = 5'-0"



SEE SHEET L-200 FOR NOTES.

PLANTING SCHEDULE

| KEY   | BOTANICAL NAME    | COMMON NAME    | QNTY | UNIT  | SIZE         |
|-------|-------------------|----------------|------|-------|--------------|
| TREES |                   |                |      |       |              |
| Cca   | Cercis canadensis | Eastern Redbud | 2    | B + B | 2.5"-3" CAL. |

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REGISTRATION EXPIRES: 01/31/2029

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

PROJECT NUMBER: 47640-C

DESIGNED BY: M. SWERCEWSKI

DRAWN BY: M. SWERCEWSKI

FIELD CHECK: M. O'ROURKE

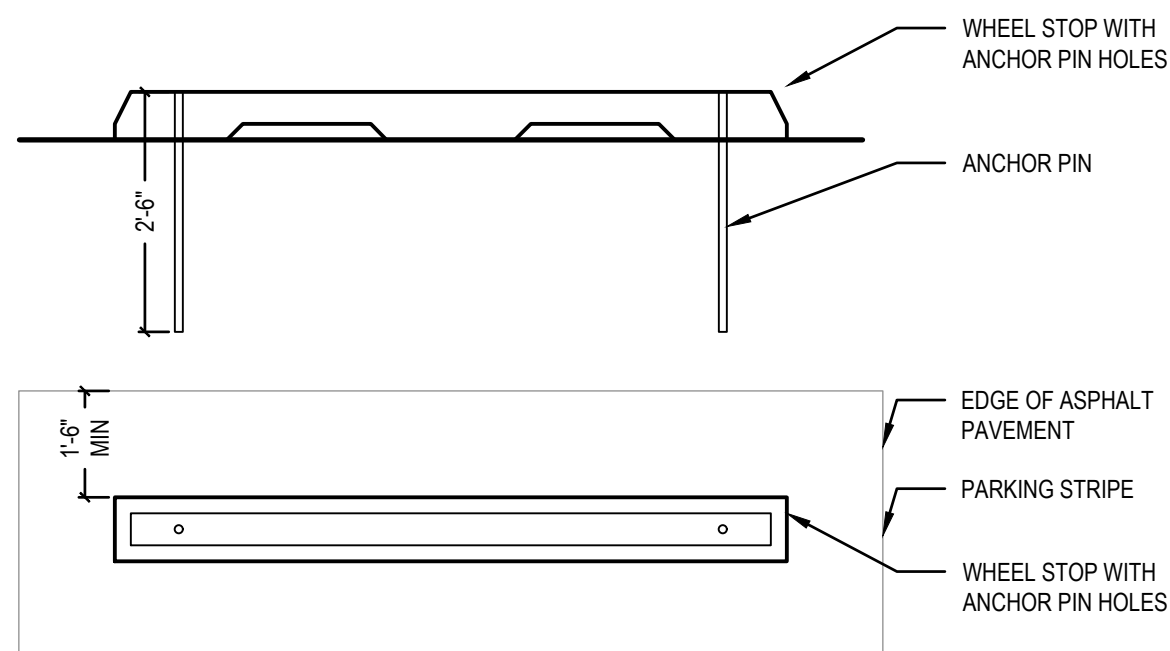
APPROVED: B. SPRENGNETHER

DRAWING TITLE: FENCE REPLACEMENT  
SITE 4 DEMO,  
LAYOUT, MATERIALS &  
GRADING PLAN

DRAWING NUMBER:

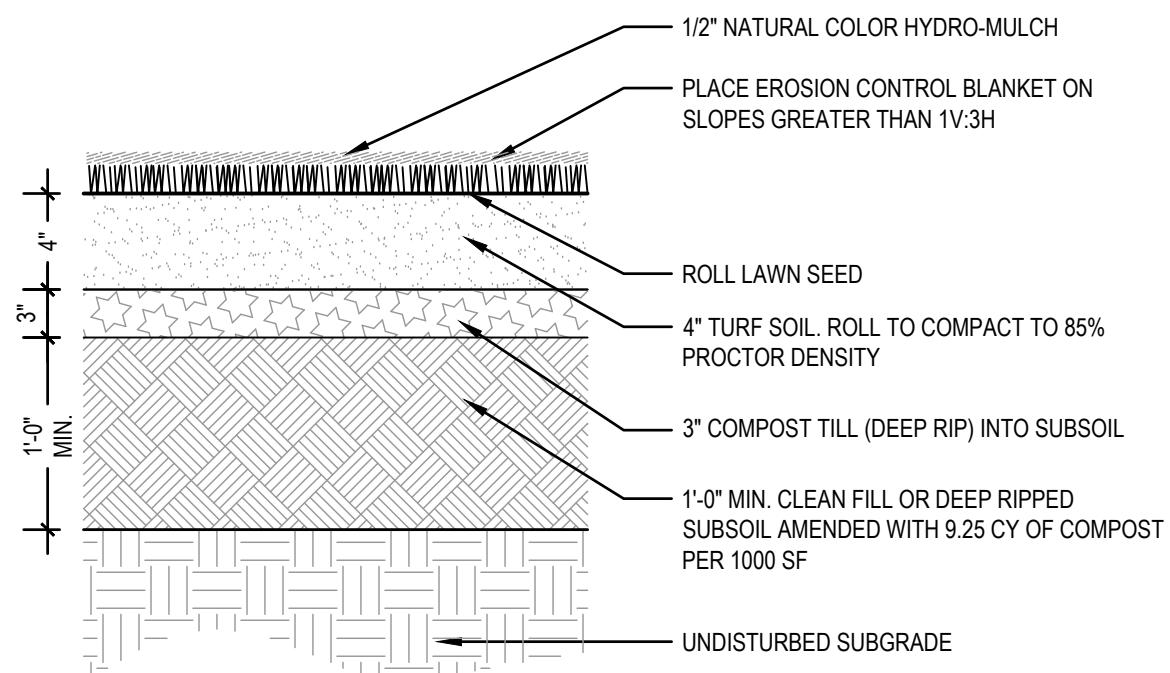
L-204

- NOTES:
1. WHEEL STOP TO INCLUDE DRAINAGE HOLES.
  2. ANCHOR PINS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
  3. CENTER WHEEL STOPS BETWEEN PARKING STRIPES

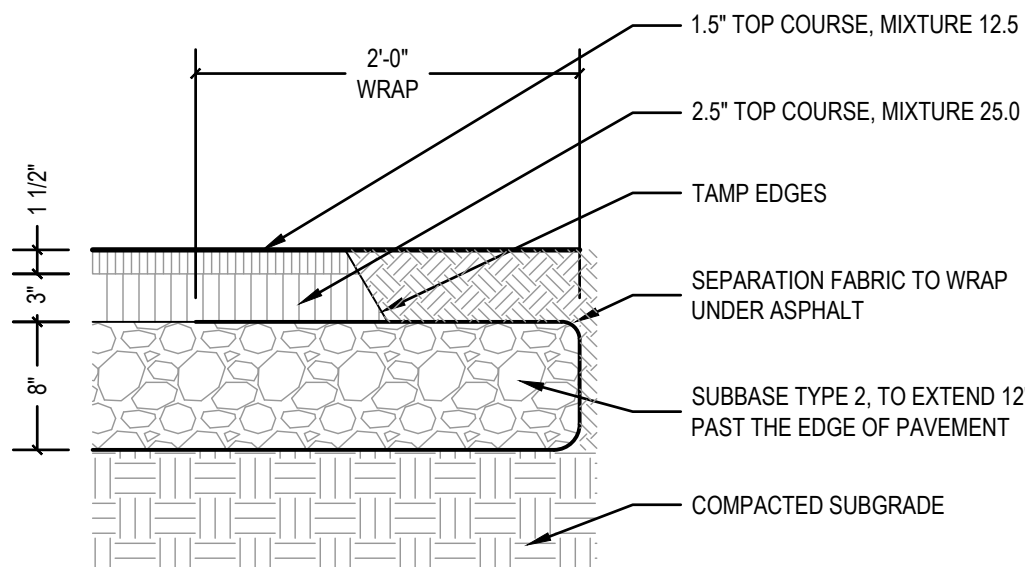


1 WHEEL STOP  
Scale: 1/2"=1'-0"

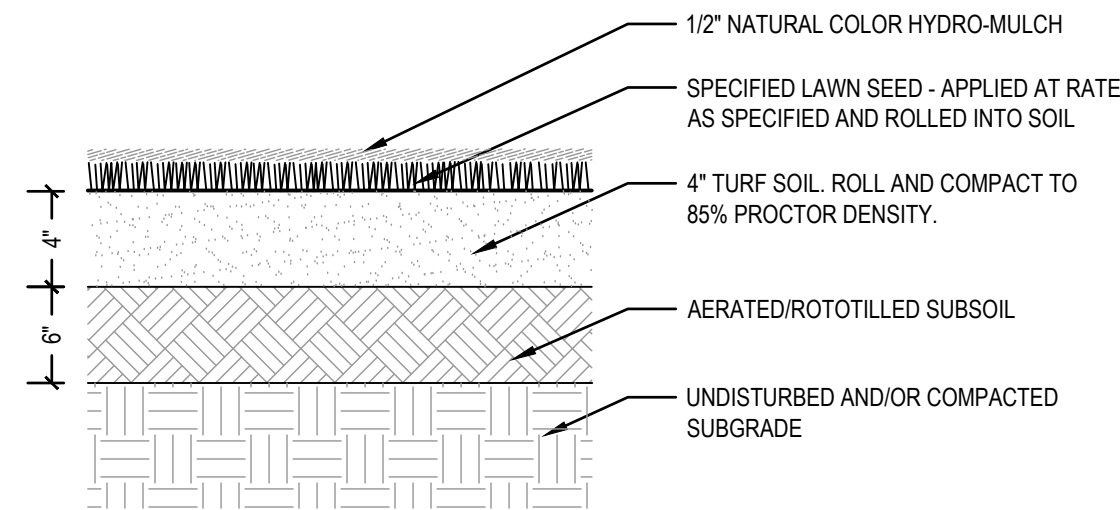
- NOTES:
1. LAWN RESTORATION WORK TO COMPLY WITH REQUIRMENTS PER "NYS DEC - STORMWATER MANAGEMENT DESIGN MANUAL - AUGUST 2024" AS WELL AS "NYS DEC DEEP RIPPING AND COMPACTION - APRIL 2008"



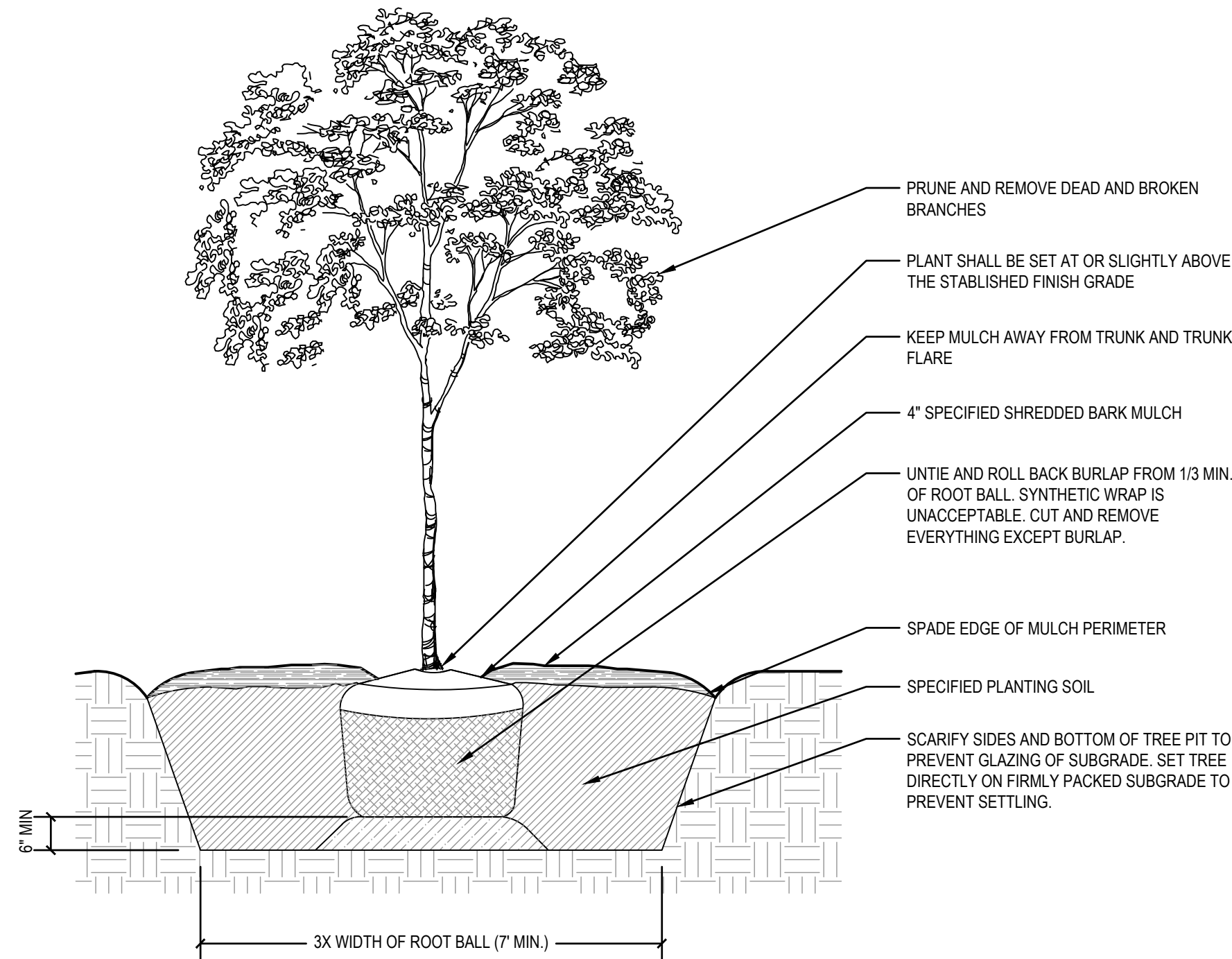
2 LAWN WITH DECOMPACTION  
Scale: 1"=1'-0"



3 ASPHALT PAVING - PEDESTRIAN WALKWAY  
Scale: 1"=1'-0"



4 LAWN ESTABLISHMENT  
Scale: 1"=1'-0"



5 TREE PLANTING  
Scale: 1/2"=1'-0"

WARNING:

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, I.E. ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.



REGISTRATION EXPIRES: 01/31/2029

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

|                 |                |
|-----------------|----------------|
| PROJECT NUMBER: | 47640-C        |
| DESIGNED BY:    | M. SWERCEWSKI  |
| DRAWN BY:       | M. SWERCEWSKI  |
| FIELD CHECK:    | M. O'ROURKE    |
| APPROVED:       | B. SPRENGNETHY |

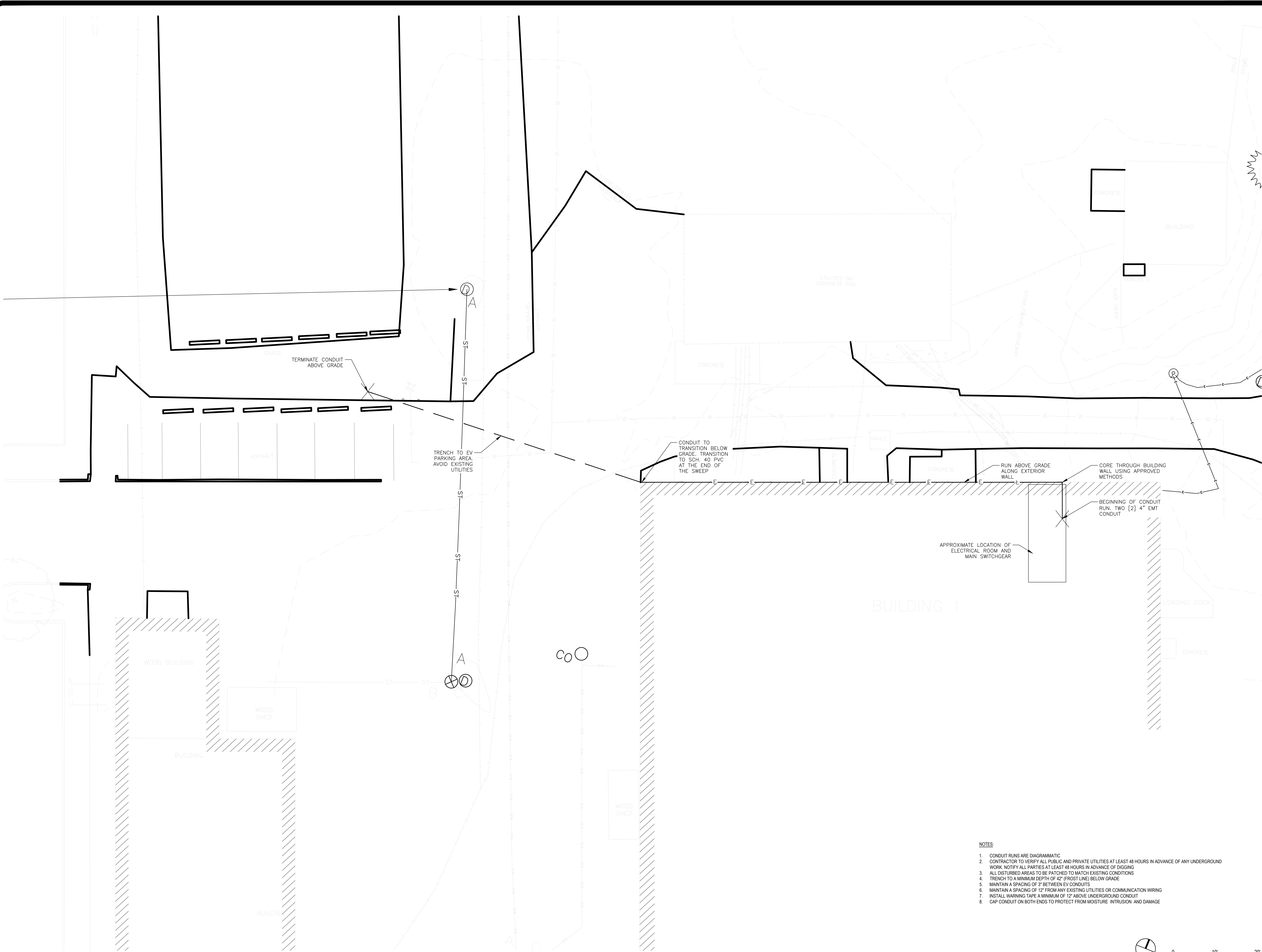
DRAWING TITLE:

LANDSCAPE DETAILS

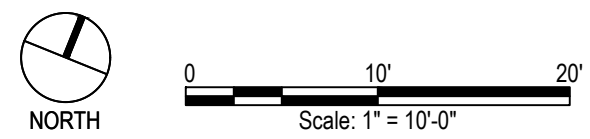
DRAWING NUMBER:

L-500

Aug. 21, 2026 - 12:04pm  
H:\Projects\22\220669-06-OGS\_Pvt\_Lmp\_Eng\CA0\OUT\474600- E001 - EV Conduit.dwg  
36x24 PLOT SHEET



- NOTES:
1. CONDUIT RUNS ARE DIAGRAMMATIC
  2. CONTRACTOR TO VERIFY ALL PUBLIC AND PRIVATE UTILITIES AT LEAST 48 HOURS IN ADVANCE OF ANY UNDERGROUND WORK. NOTIFY ALL PARTIES AT LEAST 48 HOURS IN ADVANCE OF DIGGING
  3. ALL DISTURBED AREAS TO BE PATCHED TO MATCH EXISTING CONDITIONS
  4. TRENCH TO A MINIMUM DEPTH OF 42" (FROST LINE) BELOW GRADE
  5. MAINTAIN A SPACING OF 3" BETWEEN EV CONDUITS
  6. MAINTAIN A SPACING OF 12" FROM ANY EXISTING UTILITIES OR COMMUNICATION WIRING
  7. INSTALL WARNING TAPE A MINIMUM OF 12" ABOVE UNDERGROUND CONDUIT
  8. CAP CONDUIT ON BOTH ENDS TO PROTECT FROM MOISTURE INTRUSION AND DAMAGE



WARNING:

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REGISTRATION EXPIRES: 6/30/2027

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

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| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

PROJECT NUMBER: 47640-C

DESIGNED BY: A. REESER

DRAWN BY: A. REESER

FIELD CHECK: M. O'ROURKE

APPROVED: A. REESER

DRAWING TITLE:

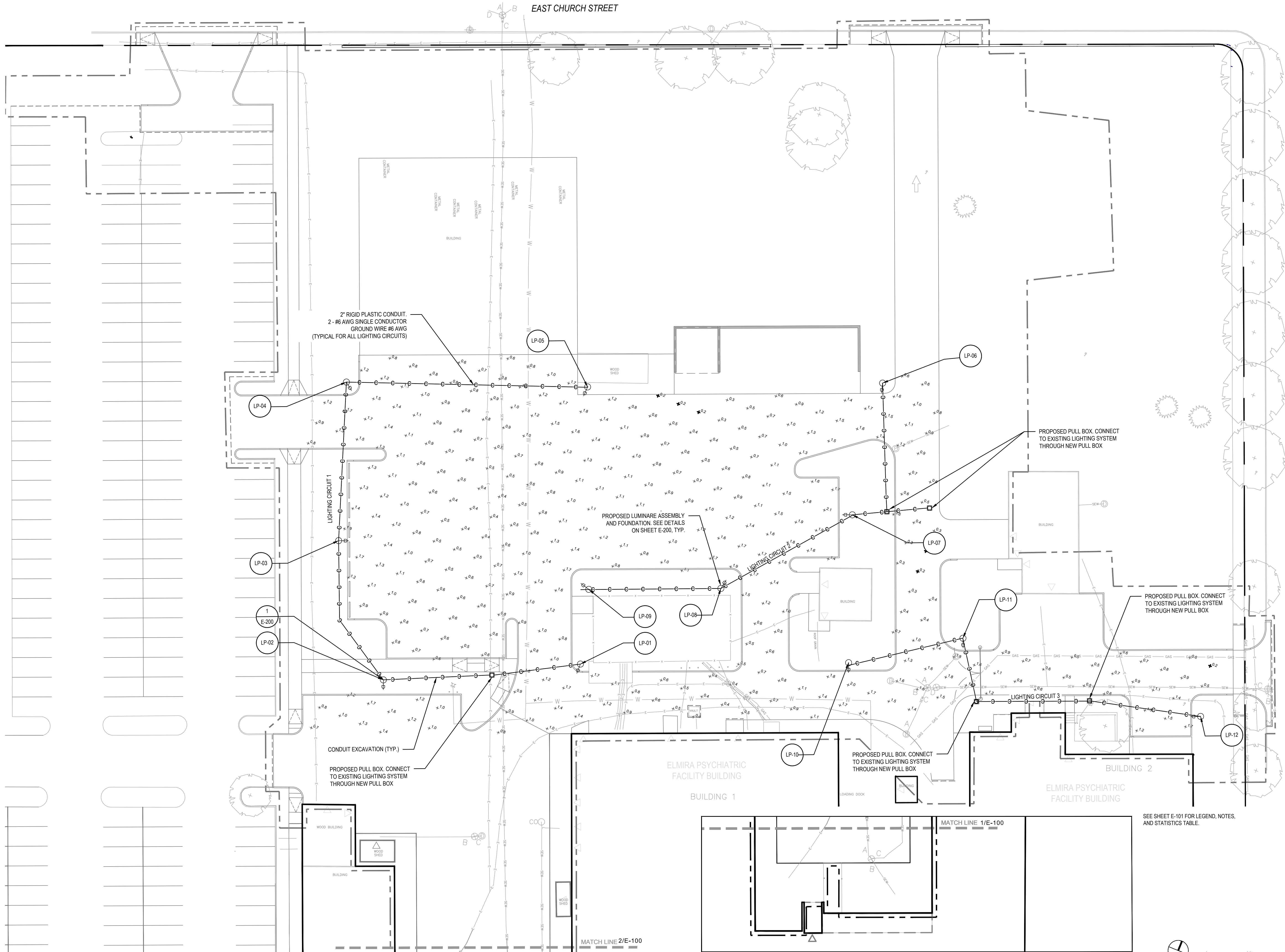
EV CONDUIT PLAN

DRAWING NUMBER:

E-001

DRAWING 30

Aug. 21, 2026 - 12:04pm  
H:\Projects\22\220669-06-06S\_Pmnt\_Lmp\_Eng\CA0\OUT\47460E-110 - Lighting.dwg  
36x24 PLOT SHEET



1 ELECTRICAL AND LIGHTING PLAN (NORTH)  
1\"/>

2 LOADING DOCK ELECTRICAL AND LIGHTING PLAN  
1\"/>

SEE SHEET E-101 FOR LEGEND, NOTES,  
AND STATISTICS TABLE.



0 20' 40'  
Scale: 1\"/>

WARNING:

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REGISTRATION EXPIRES:  
10/31/2026

CONTRACT:

47640-C

TITLE:

REPLACE ASPHALT PAVEMENT &  
REPLACE COURTYARD FENCING

LOCATION:

ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT:

OFFICE OF  
MENTAL HEALTH

CONSTRUCTION

| MARK | DATE       | DESCRIPTION    |
|------|------------|----------------|
| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |

PROJECT NUMBER: 47640-C

DESIGNED BY: A. DEPAUL

DRAWN BY: W. HOSTETTER

FIELD CHECK: M. O'ROURKE

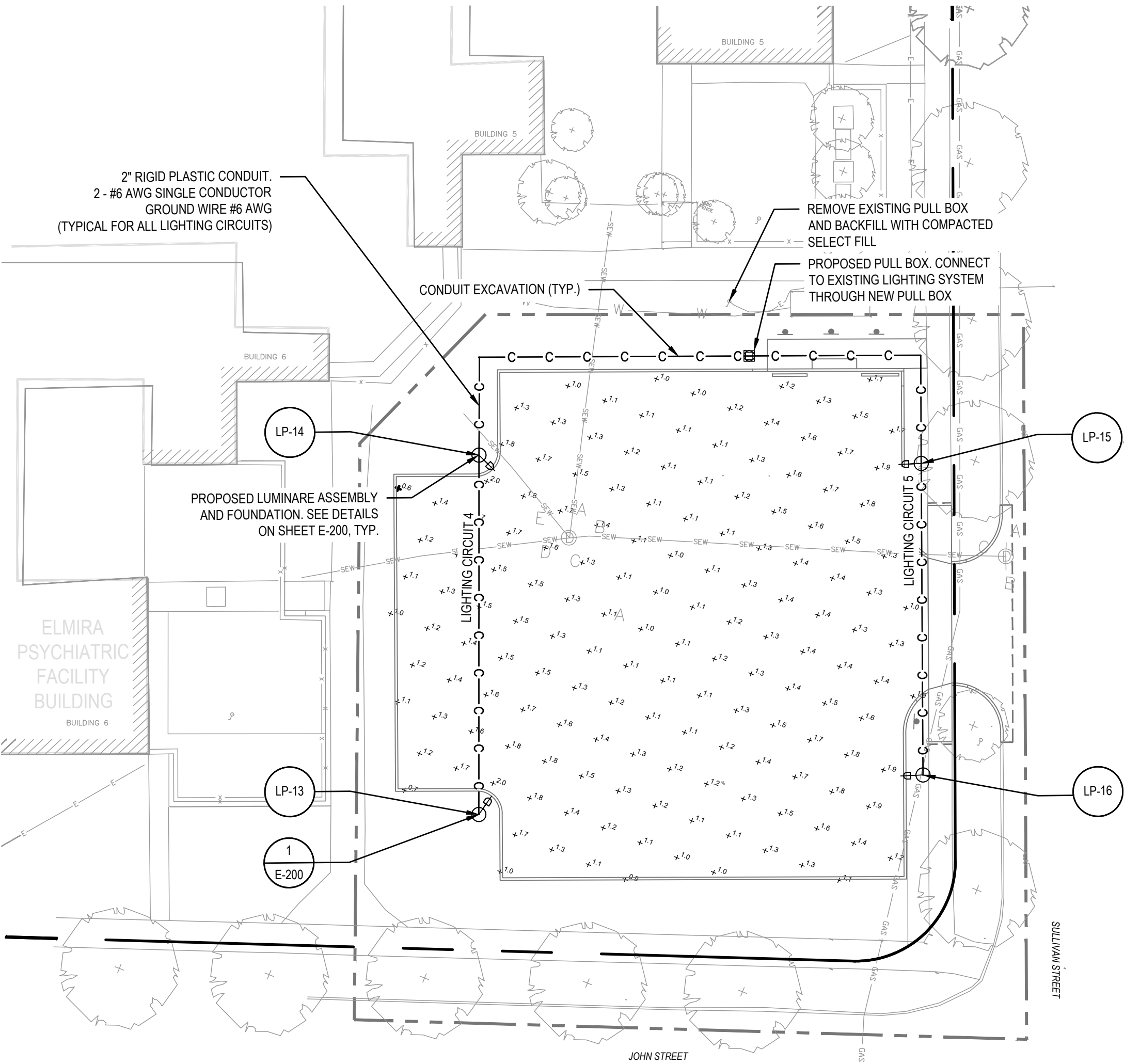
APPROVED: S. GODLEWSKI

DRAWING TITLE:

ELECTRICAL AND  
LIGHTING PLAN  
(NORTH)

DRAWING NUMBER:

E-100



1 ELECTRICAL AND LIGHTING PLAN (SOUTH)  
1\"/>

| ELECTRICAL AND LIGHTING LEGEND |                             |
|--------------------------------|-----------------------------|
| KEY                            | MATERIAL                    |
|                                | PROPOSED ELECTRICAL CONDUIT |
|                                | PROPOSED SITE LIGHTING      |
|                                | PROPOSED PULL BOX           |
|                                | CONTRACT LIMIT LINE         |

- ELECTRICAL AND LIGHTING NOTES
1.

GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS HAVING UNDERGROUND UTILITIES ON SITE PRIOR TO EXCAVATION.
2.

CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
3.

VERIFY DIMENSIONS AND ACCEPT CONDITIONS BEFORE PROCEEDING WITH WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING.
4.

DO NOT SCALE FROM MEASURING DRAWINGS.

| Estimated Illumination Statistics |        |        |        |        |         |         |
|-----------------------------------|--------|--------|--------|--------|---------|---------|
| Description                       | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Min |
| North Parking                     | +      | 1.0 fc | 2.1 fc | 0.2 fc | 10.5:1  | 5.0:1   |
| South Parking Lot                 | +      | 1.3 fc | 2.0 fc | 0.6 fc | 3.3:1   | 2.2:1   |

CONSULTANT: FISHER ASSOCIATES, P.E., L.S., L.A., D.P.C.

CERTIFICATE OF AUTHORIZATION #: 0229900

FISHER ASSOCIATES

WARNING:

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REGISTRATION EXPIRES: 10/31/2026

CONTRACT: 47640-C

TITLE: REPLACE ASPHALT PAVEMENT & REPLACE COURTYARD FENCING

LOCATION: ELMIRA PSYCHIATRIC CENTER  
100 WASHINGTON STREET  
ELMIRA, NY 14901

CLIENT: OFFICE OF MENTAL HEALTH

CONSTRUCTION

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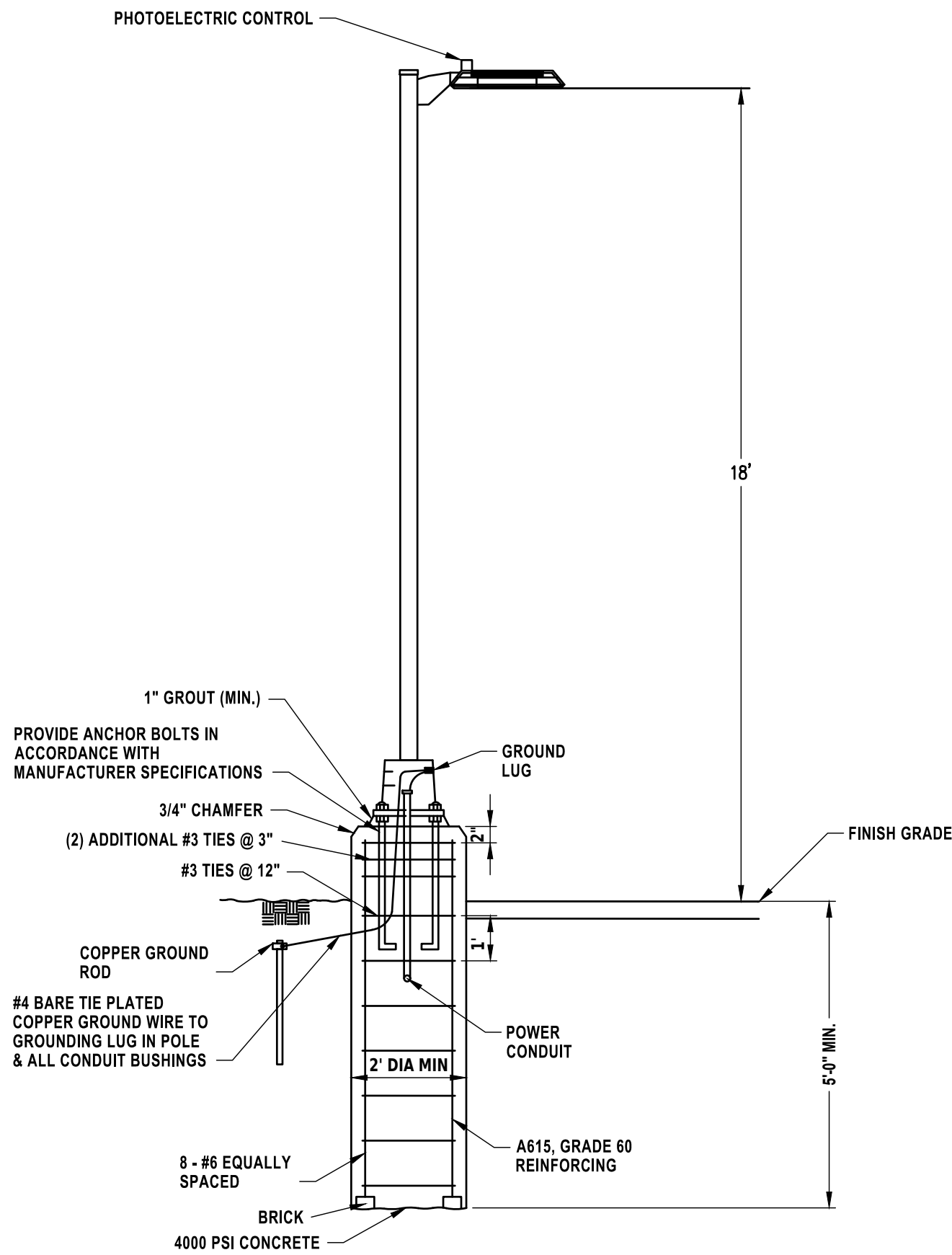
| 1               | 8/21/2026  | ADDENDUM #1    |
|-----------------|------------|----------------|
|                 | 11/28/2025 | FINAL BID DOCS |
| MARK            | DATE       | DESCRIPTION    |
| PROJECT NUMBER: |            | 47640-C        |
| DESIGNED BY:    |            | A. DEPAUL      |
| DRAWN BY:       |            | W. HOSTETTER   |
| FIELD CHECK:    |            | M. O'ROURKE    |
| APPROVED:       |            | S. GODLEWSKI   |

DRAWING TITLE:

ELECTRICAL AND LIGHTING PLAN (SOUTH)

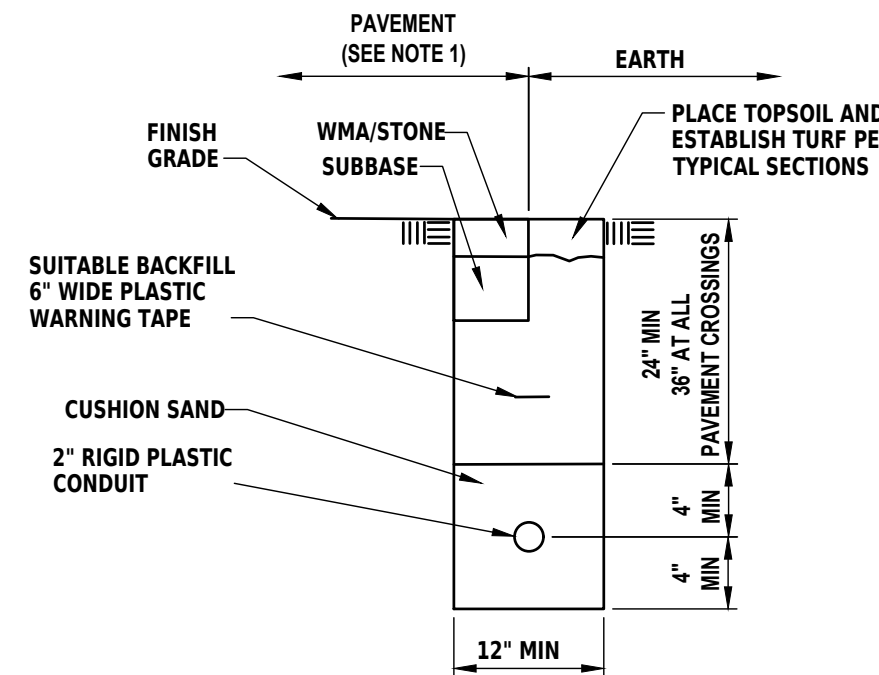
DRAWING NUMBER: E-101

- NOTE:
- THE LUMINAIRE SHALL BE :  
LITHONIA LIGHTING, DSX MODEL NUMBER DSX1 LED P1 30K 70CRI T3M OR APPROVED EQUAL
  - THE LUMINAIRE SHALL BE DARK SKY FRIENDLY, IDA APPROVED.
  - PROVIDE A 10 YEAR WARRANTY.
  - PROVIDE PHOTO CELL AND BACKLIGHT SHIELD.
  - POLE AND LUMINAIRE SHALL BE BLACK IN COLOR.
  - PROVIDE A POLE IN HEIGHT TO MOUNT LUMINAIRE AT 18' WHEN MEASURED FROM ADJACENT FINISH GRADE.
  - WIRING FROM THE LUMINAIRE TO THE BASE OF THE POLE SHALL BE INCLUDED AND BE OF SIZE AND TYPE MEETING THE MANUFACTURER'S RECOMMENDATIONS.
  - CONTRACTOR SHALL PROVIDE A 2 FOOT MINIMUM OFFSET BETWEEN THE EDGE OF THE FOUNDATION AND EDGE OF PARKING LOT AND PEDESTRIAN SIDEWALK.

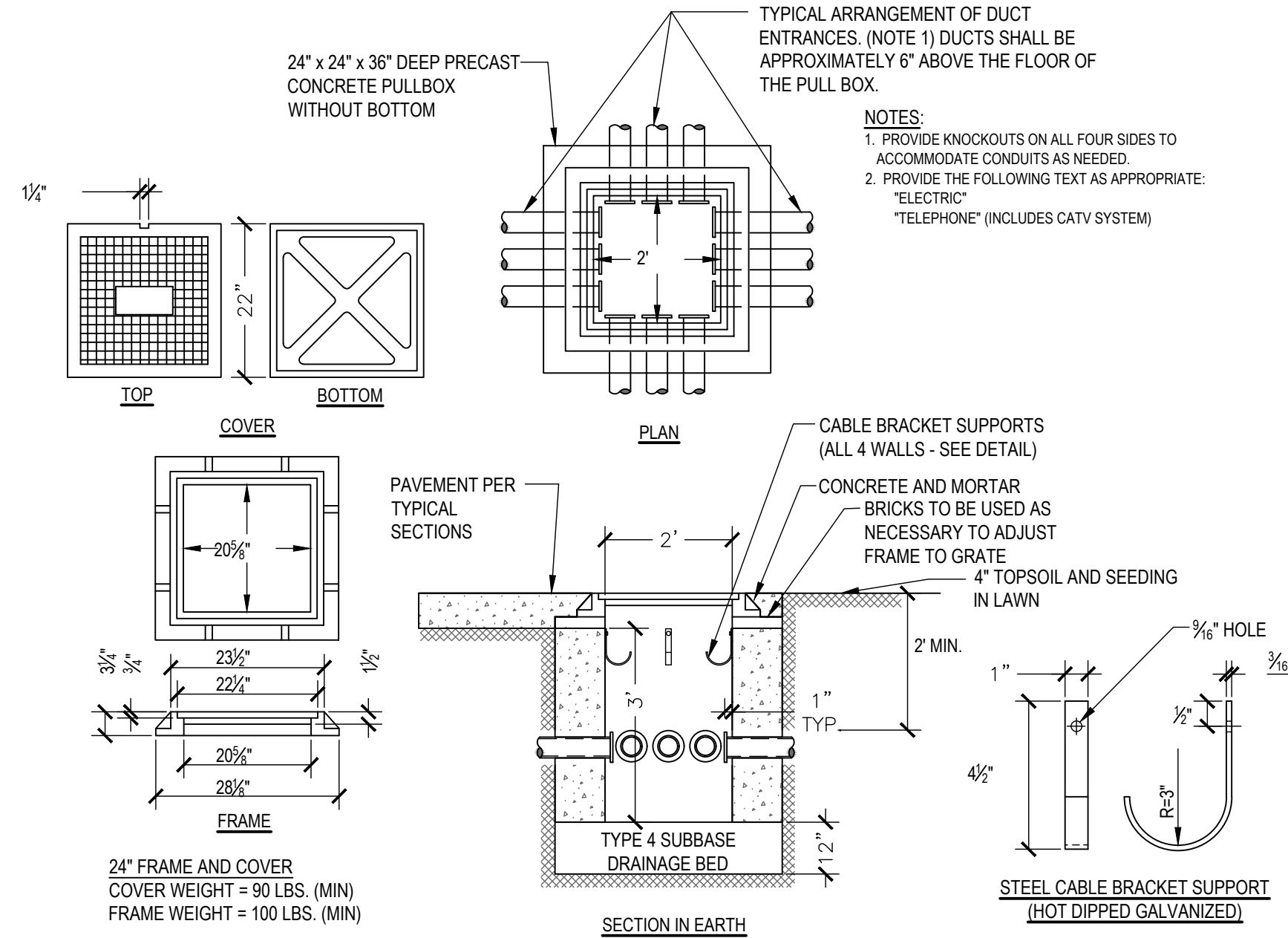


1 LIGHT POLE AND LUMINAIRE DETAIL  
N.T.S.

- NOTE:
- RESTORATION IN PAVEMENT AS FOLLOWS:  
PAVEMENT CROSSING - MATCH EXISTING PAVEMENT SECTION AOB.



2 LIGHTING CONDUIT EXCAVATION AND BACKFILL DETAIL  
N.T.S.



3 PULLBOX DETAIL  
N.T.S.



CONSTRUCTION

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| 1    | 8/21/2026  | ADDENDUM #1    |
|      | 11/28/2025 | FINAL BID DOCS |
| MARK | DATE       | DESCRIPTION    |

|                 |              |
|-----------------|--------------|
| PROJECT NUMBER: | 47640-C      |
| DESIGNED BY:    | A. DEPAUL    |
| DRAWN BY:       | W. HOSTETTER |
| FIELD CHECK:    | M. O'ROURKE  |
| APPROVED:       | S. GODLEWSKI |

DRAWING TITLE:  
ELECTRICAL AND  
LIGHTING DETAILS